



Planning Commission Regular Meeting Agenda

July 1, 2020 - 6:30 PM

Combined In-Person at City Hall or Teleconference Meeting

PURSUANT TO GOVERNOR NEWSOM'S EXECUTIVE ORDER N-25-20, MEMBERS OF THE YUCAIPA PLANNING COMMISSION OR STAFF MAY PARTICIPATE IN THIS MEETING VIA TELECONFERENCE OR IN PERSON.

IN THE INTEREST OF MAINTAINING APPROPRIATE SOCIAL DISTANCING, MEMBERS OF THE PUBLIC MAY PARTICIPATE IN THE MEETING, IN PERSON, AT THE CITY HALL COUNCIL CHAMBERS, 34272 YUCAIPA BOULEVARD, YUCAIPA, CA 92399, MAINTAINING A 6-FOOT DISTANCE FROM OTHERS.

DUE TO THE ESSENTIAL NATURE OF PLANNING COMMISSION MEETINGS IN CONDUCTING OFFICIAL CITY BUSINESS, MEETINGS WILL TAKE PLACE AS SCHEDULED, WITH THE FOLLOWING ALTERNATE OPPORTUNITIES FOR PUBLIC PARTICIPATION:

E-MAILED PUBLIC COMMENT. Members of the public that wish to address the Commission during public comment or a public hearing may submit public comments via e-mail to publiccomment@yucaipa.org. The subject line should specify "Public Comment" and include the date of the meeting. Providing your name and address is optional. Emails received by 3:00 p.m. the day of the meeting will be read out loud into the public record. Please keep in mind that all public comment is limited to three minutes. All email comments must be received by 3:00 p.m. the day of the meeting.

LIVE AUDIO STREAM/RECORDING OF CITY MEETINGS. Members of the public may listen to City meetings live at: <http://yucaipa.org/LIVE>

The City of Yucaipa thanks you in advance for taking all precautions to prevent spreading the COVID-19 virus.



Planning Commission Regular Meeting Agenda

July 1, 2020 - 6:30 PM

Combined In-Person at City Hall or Teleconference Meeting

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

PUBLIC COMMENT

CONSENT AGENDA

The Consent Agenda items below are expected to be routine and non-controversial. The Planning Commission will act upon them, at one time, without discussion. Any Councilmember or staff member may request removal of an item from the Consent Agenda for discussion. The title is deemed to be read, and further reading waived on any ordinance listed on the Consent Agenda for second reading and adoption.

1. **SUBJECT:** APPROVE PLANNING COMMISSION MINUTES OF JUNE 17, 2020

NEW BUSINESS

2. **SUBJECT:** Woodside Homes (Case No. 20-075/ARC); Architectural Review for previously recommended Case No. 17-093/TTM 20130, Tentative Tract Map No. 20130, to subdivide a portion of the Oak Glen Creek Specific Plan into 144 single-family residential lots (7,200 square foot minimum lot size), located at the southeast corner of Oak Glen Road and Second Street; APN: 0303-181-16/19

RECOMMENDATION: That the Planning Commission review the proposed colors, materials, and architectural designs for the previously recommended Case No. 17-093/TTM 20130, and approve the applicant's submittal.

PUBLIC HEARINGS

The order of Business for the Public Hearing Shall Be:

- A. Staff Presentation
- B. Applicant/Representative Presentation
- C. Public Comments
- D. Applicant Rebuttal (if necessary)
- E. Public Hearing Closed
- F. Commission Discussion

3. **SUBJECT:** Simmons – Novak – Rellim (Case No. 19-074/CUP/MNV/TPM No. 20221): A Conditional Use Permit to permit a sixteen (16) unit multiple family Project consisting of seven (7) duplex units and two (2) individual units, with a Minor Variance to permit a front yard setback of 22 feet in lieu of 25 feet, and a Tentative Parcel Map (TPM No. 20221) to subdivide the Project from an existing single family residence; Located at 13009 4th Street; APN: 0319-161-24

RECOMMENDATION: That the Planning Commission conduct a public hearing; and:

- A) Approve Conditional Use Permit No. 19-074 and Tentative Parcel Map No. 20221 subject to the Conditions of Approval as contained in this Agenda Report; and
- B) Adopt the Conditional Use Permit and Subdivision Findings as contained in this Agenda Report; and
- C) Adopt the Minor Variance Findings as contained in the Agenda Report; and
- D) Adopt a Categorical Exemption pursuant to Section 15305 (Class 5) and 15332 (Class 32) of the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended; and
- E) Direct Staff to file a Notice of Exemption.

And then close the public hearing, and then Planning Commission review the proposed architecture and conceptual landscape design, and if it is acceptable, approve the design.

4. **SUBJECT:** John Nejad (Case No. 20-026/CUP): A Conditional Use Permit and Architectural Review for the proposed 17-unit multi-family Project that consists of seven (7) duplexes and three (3) detached units on a vacant, residentially-zoned parcel located on the west side of 6th Street between 12782 & 12798 6th Street; APN: 0318-164-21.

RECOMMENDATION: That the Planning Commission conduct a public hearing and,

- A) Approve Conditional Use Permit No. 20-026 subject to the Conditions of Approval as contained in this Agenda Report; and
- B) Adopt the Findings as contained in this Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to Section 15332 (Class 32) of the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended; and,
- D) Direct Staff to file a Notice of Exemption.

And then close the public hearing, and then Planning Commission review the proposed architecture and conceptual landscape design, and if it is acceptable, approve the design.

5. **SUBJECT:** Jerry Savage (Case No. 20-048/SUP/ARC): A Special Use Permit and Architectural Review of a proposed 12 ft. tall, 840 sq. ft. detached metal garage to be located on a single-family residential property at 12530 Oak Ct.; APN: 0301-093-74.

RECOMMENDATION: That the Planning Commission conduct a public hearing, and;

- A) Review the architectural design of the proposed metal garage, and if it is acceptable, approve the design subject to the Conditions of Approval; and
- B) Adopt the Special Use Permit Findings as contained in the Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15303 (Class 3); and,
- D) Direct staff to file a Notice of Exemption.

ANNOUNCEMENTS:

PLANNING COMMISSION ADJOURNED:

City of Yucaipa
PLANNING COMMISSION MINUTES
Regular Meeting of June 17, 2020

A Regular meeting of the Planning Commission of the City of Yucaipa, California was called to order in the Community Meeting Room, 34272 Yucaipa Boulevard, Yucaipa, California, on June 17, 2020 at 6:30 PM.

PRESENT: J.R. Allgower, Chair
Denise Work, Vice Chair
Christopher Markarian, Commissioner – Via Teleconference
Bart Brizzee, Commissioner – Via Teleconference
Kathy Fellenz, Commissioner – Via Teleconference
Lloyd Rekstad, Commissioner
Benjamin Matlock, Planning Manager/City Planner
Fermin Preciado, Director of Development Services & City Engineer
Travis Heaps, Assistant Planner
Chris Mee, Planning Commission Assistant
Amy Greyson, City Attorney

ABSENT: Aron Wolfe, Commissioner

CONVENE PLANNING COMMISSION

The meeting was opened by Chair J.R. Allgower at 6:31 p.m., with the Pledge of Allegiance led by Commissioner Rekstad.

ROLL CALL

PUBLIC COMMENT:

None received, and no Public Comment emails were sent to Publiccomment@yucaipa.org.

CONSENT AGENDA

The following Consent Agenda items are expected to be routine and non-controversial. The Planning Commission will act upon them, at one time, without discussion. Any Councilmember or staff member may request removal of an item from the Consent Agenda for discussion.

The title is deemed to be read, and further reading waived on any ordinance listed on the Consent Agenda for second reading and adoption.

1. **SUBJECT:** APPROVE PLANNING COMMISSION MINUTES OF MAY 20, 2020

RECOMMENDATION: That the Commission approve the minutes.

ACTION: MOTION BY VICE CHAIR WORK, SECOND BY COMMISSIONER REKSTAD, TO APPROVE THE MINUTES OF MAY 20, 2020. MOTION CARRIED 6-0-0-1.

PUBLIC HEARINGS

The order of Business for the Public Hearing Shall Be:

- | | |
|--|--------------------------------------|
| A. Staff Presentation | D. Applicant Rebuttal (if necessary) |
| B. Applicant/Representative Presentation | E. Public Hearing Closed |
| C. Public Comments | F. Commission Discussion |

2. **SUBJECT:** City of Yucaipa (Case No. 17-093/TTM 20130/DA): A Development Agreement between the City of Yucaipa and Woodside Homes, 05S, a California limited partnership, to allow for the development of an approximately 38.6 acres of property located in the Oak Glen Creek Specific Plan into 144 single-family residential lots with 7,200 square foot minimum lot sizes, and the construction of related public improvements including a public park, consistent with the previously-adopted Oak Glen Creek Specific Plan, at the southeast corner of Oak Glen Road and Second Street; APN: 0303-181-16/19

RECOMMENDATION: That the Planning Commission conduct a public hearing and, recommend that the City Council:

- A) Adopt Ordinance 395 approving a Development Agreement between the City of Yucaipa and Woodside Homes, 05S as part of the proposed project; and
- B) Determine that the subdivision and Development Agreement are within the scope of the Environmental Impact Report (EIR) prepared pursuant to the provisions of Section 15168 of the California Environmental Quality Act of 1970 and the CEQA Guidelines as amended for the Oak Glen Creek Specific Plan Project; and
- C) Direct Staff to file a Notice of Determination.

DISCUSSION: Benjamin Matlock, City Planner presented the project to the Commission.

There was one Public Comment by David Noble of 35102 Persimmon Ave, Yucaipa, CA 92399. He wanted to know if the basin proposed is to be a “lake”. Chair Allgower confirmed that the basin will have water in it full time.

Commissioner Markarian wanted to know about the notification process for this project. City Planner Matlock informed him of the process, which meets and exceeds state law.

ACTION: MOTION BY VICE CHAIR WORK, SECOND BY COMMISSIONER FELLEZ, TO APPROVE STAFF RECOMMENDATIONS. MOTION CARRIED 6-0-0-1

3. **SUBJECT:** AT&T Wireless, (Case No. 20-033/CUP): A Conditional Use Permit to construct an unmanned telecommunications facility within a 362 square-foot fenced lease area for AT&T Wireless, which consists of 12 antennas, 36 Remote Radio Units, a 74-foot tall mono-tower designed as a Eucalyptus Tree, and associated ground mounted equipment. The new telecommunications facility is to be located adjacent to an existing telecommunications facility at the northeast portion of the Crafton Hills College Campus.

RECOMMENDATION: That the Planning Commission conduct a public hearing and,

- A) Review the design and location of the proposed telecommunications facility, and if it is acceptable, approve Conditional Use Permit No. 20-033, subject to the Conditions of Approval as contained in the Agenda Report; and
- B) Adopt the Findings as contained in the Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15303 (Class 3); and
- D) Direct staff to file a Notice of Exemption.

DISCUSSION: Travis Heaps, Assistant Planner, presented the project to the Commission.

There was no Public Comment.

The Commission wanted to know who is responsible for the area around the equipment. Assistant Planner Heaps let them know the Carrier, AT&T, is responsible to keep their lease area clean and free from weeds, and to maintain the equipment and the cabinets. He noted that the reason for another tower is that the existing structure would not be able to support the new antennas without the installation of a much taller tower.

ACTION: MOTION BY COMMISSIONER MARKARIAN, SECOND BY VICE CHAIR WORK, TO APPROVE STAFF RECOMMENDATIONS. MOTION CARRIED 6-0-0-1.

4. **SUBJECT:** Pacific Horizon Builders, (Case No. 20-040/REV): A Revision to the previously approved Tentative Tract Map 19901 (Case No. 14-138/TTM 19901), a 22-lot single-family residential subdivision. Revisions to the Project includes the installation of a six (6) foot tall PVC fence in lieu of a six (6) foot tall block wall and Architectural Review for all 22 lots.

RECOMMENDATION: That the Planning Commission conduct a public hearing and,

- A) Approve the Revisions to Tentative Tract Map No. 19901 (Case No. 20-040/REV/TTM 19901), subject to the Conditions of Approval as contained in this Agenda Report; and,
- B) Adopt the Subdivision Findings as contained in this Agenda Report; and,

C) Determine that the Project does not require any additional environmental review pursuant to Section 15162(a) of the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended; and,

D) Direct Staff to file a Notice of Determination.

DISCUSSION: Travis Heaps, Assistant Planner, presented the project to the Commission.

Applicant, David Klein, noted that they chose to install the wider detention basin instead of the individual rainwater detention basins because they will look nicer and are more maintenance free. The Developer will install a drip system to water the plants within the drainage basin, which will be maintained. He informed the Commission that the PVC Fence can withstand 110 mile an hour winds and is also graffiti resistant. He noted current PFC fencing is sturdier and survives wear and tear better than the fencing that was available a few years ago.

One public comment was provided by Jacob Yaryan of 12356 Fremont St, Yucaipa, CA 92399. Jacob was concerned about flooding due at his property, located at the north-east corner of the project. Mr. Klein informed the Commission that because of the grading and the drainage basins, there should be no flooding caused by his project. Some of the Commissioners asked about efforts, such as a block wall between Mr. Yaryan's place and the project, to help address the issue. City Engineer, Fermin Preciado, said he will investigate the grading plans and work with the developer.

ACTION: MOTION BY COMMISSIONER MARKARIAN, SECOND BY COMMISSIONER REKSTAD, TO APPROVE STAFF RECOMMENDATIONS. MOTION CARRIED 6-0-0-1.

5. **SUBJECT:** Draft of the Seven-year Capital Improvement Program

Fermin Preciado, Director of Development Services, and City Engineer presented Agenda item No. 5. Commissioner Markarian wondered if projects can be added at this point. City Engineer Preciado let him know that the Commission only needs to adopt the necessary findings that the projects are in conformance with the General Plan. The City Council ultimately will prioritize specific Capital Improvement Projects.

ACTION: MOTION BY VICE CHAIR WORK, SECOND BY COMMISSIONER FELLEZ TO APPROVE STAFF RECOMMENDATIONS. MOTION CARRIED 6-0-0-1.

ANNOUNCEMENTS: Chair Allgower extended his thanks to the Commission and asked if there were any announcements. City Planner Matlock informed the Commission that the next meeting will be July 1, 2020.

PLANNING COMMISSION ADJOURNED: 8:01 PM

Submitted by:

Approved by:

Chris Mee,

Benjamin Matlock

**CITY OF YUCAIPA
DEVELOPMENT SERVICES DEPARTMENT
AGENDA REPORT**

TO: Honorable Chairman and Planning Commissioners

FROM: Benjamin J. Matlock, Planning Manager/City Planner

FOR: Planning Commission Meeting of July 1, 2020

SUBJECT: Woodside Homes (Case No. 20-075/ARC); Architectural Review for previously recommended Case No. 17-093/TTM 20130, Tentative Tract Map No. 20130, to subdivide a portion of the Oak Glen Creek Specific Plan into 144 single-family residential lots (7,200 square foot minimum lot size), located at the southeast corner of Oak Glen Road and Second Street; APN: 0303-181-16/19

RECOMMENDATION:

That the Planning Commission review the proposed colors, materials, architectural designs and conceptual landscaping plan for previously recommended Case No. 17-093/TTM 20130, and approve the applicant's submittal.

BACKGROUND:

Tentative Tract Map No. 20130 (TTM 20130) is one of the first implementing measures of the Oak Glen Creek Specific Plan. Pursuant to the Development Code, Tentative Tract Map applications are typically subject to approval through the Planning Commission. However, a Development Agreement is also proposed with the approval of the Tentative Tract Map application, and both are therefore subject to City Council for final approval. The design of TTM 20130 was originally reviewed and recommended for approval by the Planning Commission at the regular meeting of November 15, 2017. At the regular meeting of June 17, 2020, the draft DA between the City of Yucaipa and Woodside Homes was reviewed and recommended for City Council approval by the Planning Commission. The TTM and DA are currently scheduled for Council review of the Planning Commission's recommendation at their special meeting of July 8, 2020.

Pursuant to the Project's Conditions of Approval, prior to obtaining building permits for the current single-family residential project, architectural plans must be approved by Planning Commission. The applicant, Woodside Homes, has submitted an architectural design package for Planning Commission approval to meet the required Condition of Approval.

DISCUSSION:

The proposed project features conventional, detached single-family residences in single and two-story floorplans. The design provides for a total of six (6) different floorplans, with the square footages for the homes ranging from 1,755 to 3,080 square feet. For each of the six total floor plans, there are three different building elevations and architectural themes: "Craftsman,"

“Spanish,” and “Prairie.” For each architectural theme, there are three (3) different color palettes. Reverse elevations for each design are also available, which results in a total of 108 possible unit combinations. In addition, each design features enhanced elevations for the sides and rear when they abut a public roadway. The applicant is currently working on developing the plotting layout for the different units for approval by the City Planner, but with the variety of styles and floorplans proposed, along with the variable front yard setbacks permitted by Tract 20130, there will be sufficient variation to provide interest to the streetscape. Not reflected in the architectural booklet is that the covered porch areas for some of the single-story structures will be extended so that they project beyond the wall plane of the garage to add for additional architectural interest. Below is a brief architectural discussion of each architectural style.

Craftsman – the ‘Craftsman’ style includes a stucco exterior, with lap siding and or shingle wood siding at various parts of the front façade, including under the gable and tower elements, that are painted to compliment the primary stucco color, a decorative stone base element, and an accent color along the trim. Additional details include shutters around key windows, flat concrete roof tiles, and a decorative, yet simple mullion design within the windowpanes. Not reflected in the architectural booklet for the various Craftsman style elevations is knee-style bracing below the gabled roof, and the use of river rock as a base treatment.

Spanish – the “Spanish” style includes a stucco exterior that incorporates lighter colors and a darker stucco base, and “s” shaped roof tiles. Additional details include segmental arches, including along key windows, and shutters. Not reflected in the architectural booklet for the various Spanish style elevations is additional ornamental iron details.

Prairie – the “Prairie” style includes a stucco exterior, a decorative brick base element, and an accent color along the trim. Additional details include a hipped roof with flat concrete roof tiles, exposed roof beams, a decorative, yet simple mullion design within the windowpanes appropriate with prairie style architecture, and shutters around key windows.

Attachments: Architectural Plan Booklet, including colored elevations

Approved by:



Benjamin J. Matlock, Planning Manager/City Planner
Development Services Department

YUCAIPA 144
TRACT #20130

A-1 Street Scene

A-2 Street View Rendering

A-3 Street View Rendering

A-4 Street View Rendering

A-5 Street View Rendering

A-6 Plan 1 - Floor Plans

A-7 Plan 1 - Spanish "A" - Elevations

A-8 Plan 1 - Spanish "A" - Elevations Enhanced

A-9 Plan 1 - Prairie "B" - Elevations

A-10 Plan 1 - Prairie "B" - Elevations Enhanced

A-11 Plan 1 - Craftsman "C" - Elevations

A-12 Plan 1 - Craftsman "C" - Elevations Enhanced

A-13 Plan 1 - Roof Plans

A-14 Plan 2 - Floor Plans

A-15 Plan 2 - Spanish "A" - Elevations

A-16 Plan 2 - Spanish "A" - Elevations Enhanced

A-17 Plan 2 - Prairie "B" - Elevations

A-18 Plan 2 - Prairie "B" - Elevations Enhanced

A-19 Plan 2 - Craftsman "C" - Elevations

A-20 Plan 2 - Craftsman "C" - Elevations Enhanced

A-21 Plan 2 - Roof Plans

A-22 Plan 3 - Floor Plans

A-23 Plan 3 - Spanish "A" - Elevations

A-24 Plan 3 - Spanish "A" - Elevations Enhanced

A-25 Plan 3 - Prairie "B" - Elevations

A-26 Plan 3 - Prairie "B" - Elevations Enhanced

A-27 Plan 3 - Craftsman "C" - Elevations

A-28 Plan 3 - Craftsman "C" - Elevations Enhanced

A-29 Plan 3 - Roof Plans

A-30 Plan 4 - Floor Plans

A-31 Plan 4 - Spanish "A" - Elevations

A-32 Plan 4 - Spanish "A" - Elevations Enhanced

A-33 Plan 4 - Prairie "B" - Elevations

A-34 Plan 4 - Prairie "B" - Elevations Enhanced

A-35 Plan 4 - Craftsman "C" - Elevations

A-36 Plan 4 - Craftsman "C" - Elevations Enhanced

A-37 Plan 4 - Roof Plans

A-38 Plan 5 - Floor Plans

A-39 Plan 5 - Spanish "A" - Elevations

A-40 Plan 5 - Spanish "A" - Elevations Enhanced

A-41 Plan 5 - Prairie "B" - Elevations

A-42 Plan 5 - Prairie "B" - Elevations Enhanced

A-43 Plan 5 - Craftsman "C" - Elevations

A-44 Plan 5 - Craftsman "C" - Elevations Enhanced

A-45 Plan 5 - Roof Plans

A-46 Plan 6- Floor Plans

A-47 Plan 6 - Spanish "A" - Elevations

A-48 Plan 6 - Spanish "A" - Elevations Enhanced

A-49 Plan 6 - Prairie "B" - Elevations

A-50 Plan 6 - Prairie "B" - Elevations Enhanced

A-51 Plan 6 - Craftsman "C" - Elevations

A-52 Plan 6 - Craftsman "C" - Elevations Enhanced

A-53 Plan 6 - Roof Plans

A-54 Written Color Schemes

A-55 Color Boards - Spanish

A-56 Color Boards - Prairie

A-57 Color Boards - Craftsman

Developer:
Woodside Homes
1250 Corona Pointe Court Suite 500
Corona, Ca, 92879

Contact: Kory Liston
Business: (951) 310-7008
www.woodsidehomes.com

Architect:
Kevin L. Crook Architect, Inc.
1360 Reynolds Ave. Suite 110
Irvine, Ca 92614

Contact: Aric Coffee
Business: (949) 660-1587
www.klcarch.com



PRAIRIE
PLAN 1BR

SPANISH
PLAN 2A

CRAFTSMAN
PLAN 4CR

PRAIRIE
PLAN 5B

SPANISH
PLAN 3AR

CRAFTSMAN
PLAN 6C

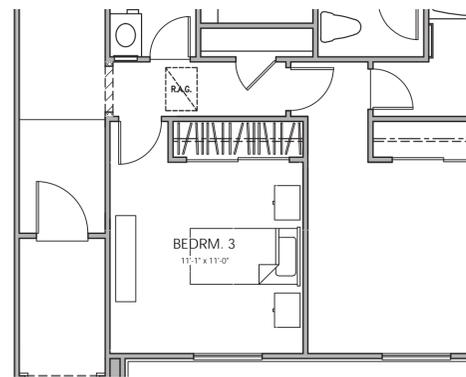
STREET SCENE



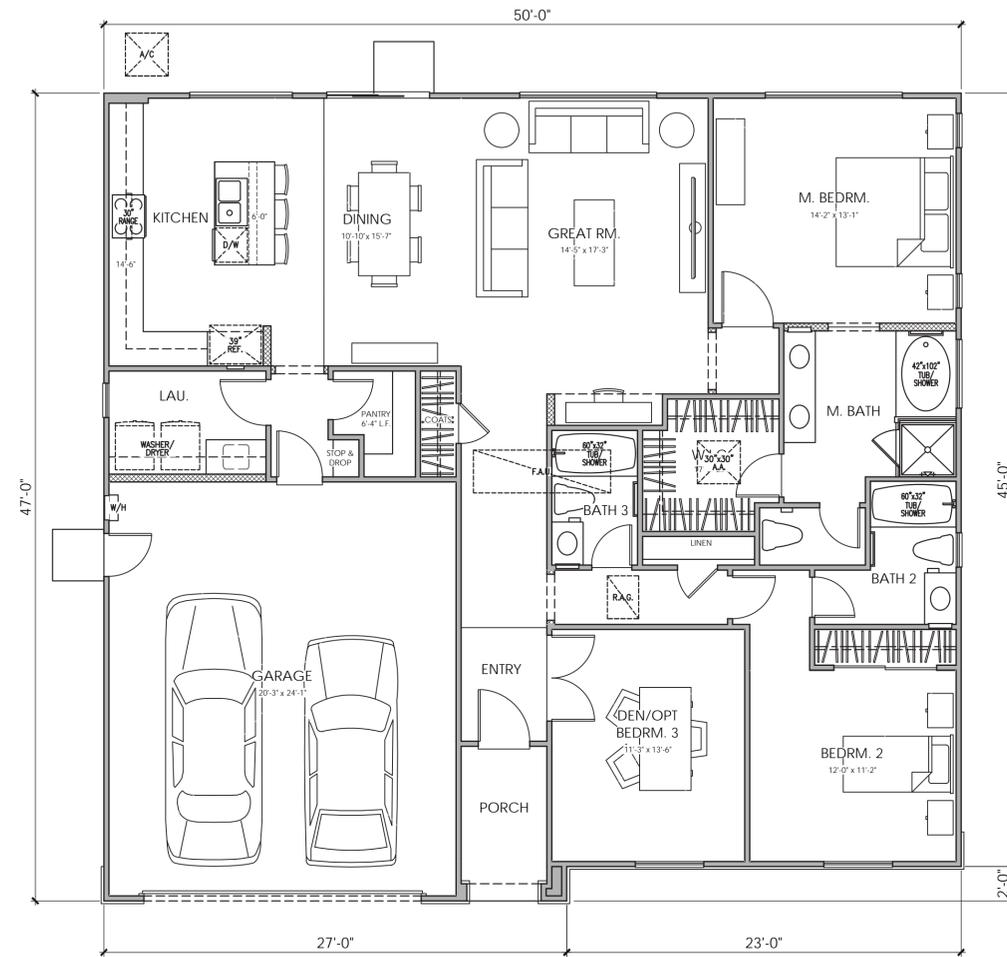








OPTIONAL BEDROOM 3



FLOOR PLAN
 PLAN 1
 2 BEDROOM, 3 BATH, DEN/OPT. BEDROOM 3

PLAN 1
 AREA TABULATION

CONDITIONED SPACE	
FLOOR AREA	1,755 SQ. FT.
TOTAL DWELLING	1,755 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	501 SQ. FT.
PORCH	45 SQ. FT.





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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

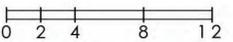


REAR



LEFT

COLOR SCHEME 1
 PLAN 1
 SPANISH "A"- ELEVATION





RIGHT

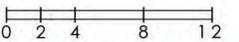


REAR



LEFT

COLOR SCHEME 1
PLAN 1
 SPANISH "A"- ENHANCED ELEVATION





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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT



REAR



LEFT

COLOR SCHEME 4
 PLAN 1
 PRAIRIE "B"- ELEVATION





RIGHT

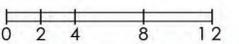


REAR



LEFT

COLOR SCHEME 4
PLAN 1
 PRAIRIE "B"- ENHANCED ELEVATION





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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT



REAR



LEFT

COLOR SCHEME 7
 PLAN 1
 CRAFTSMAN "C"- ELEVATION





RIGHT



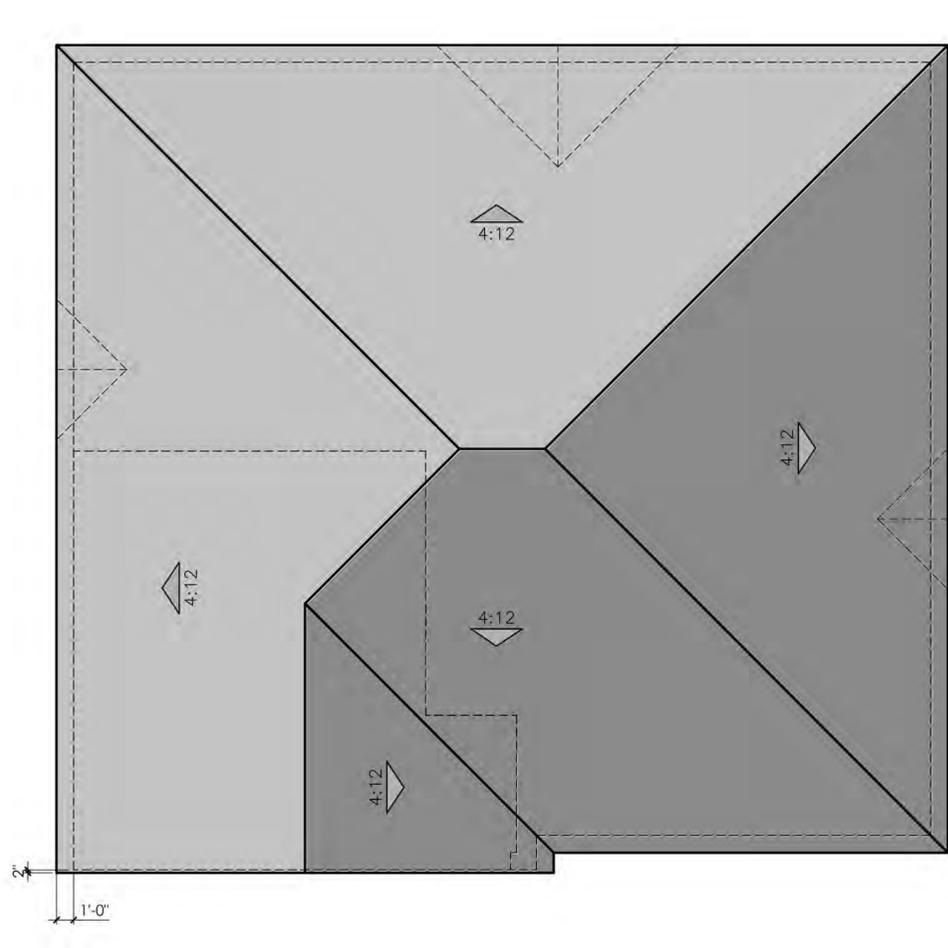
REAR



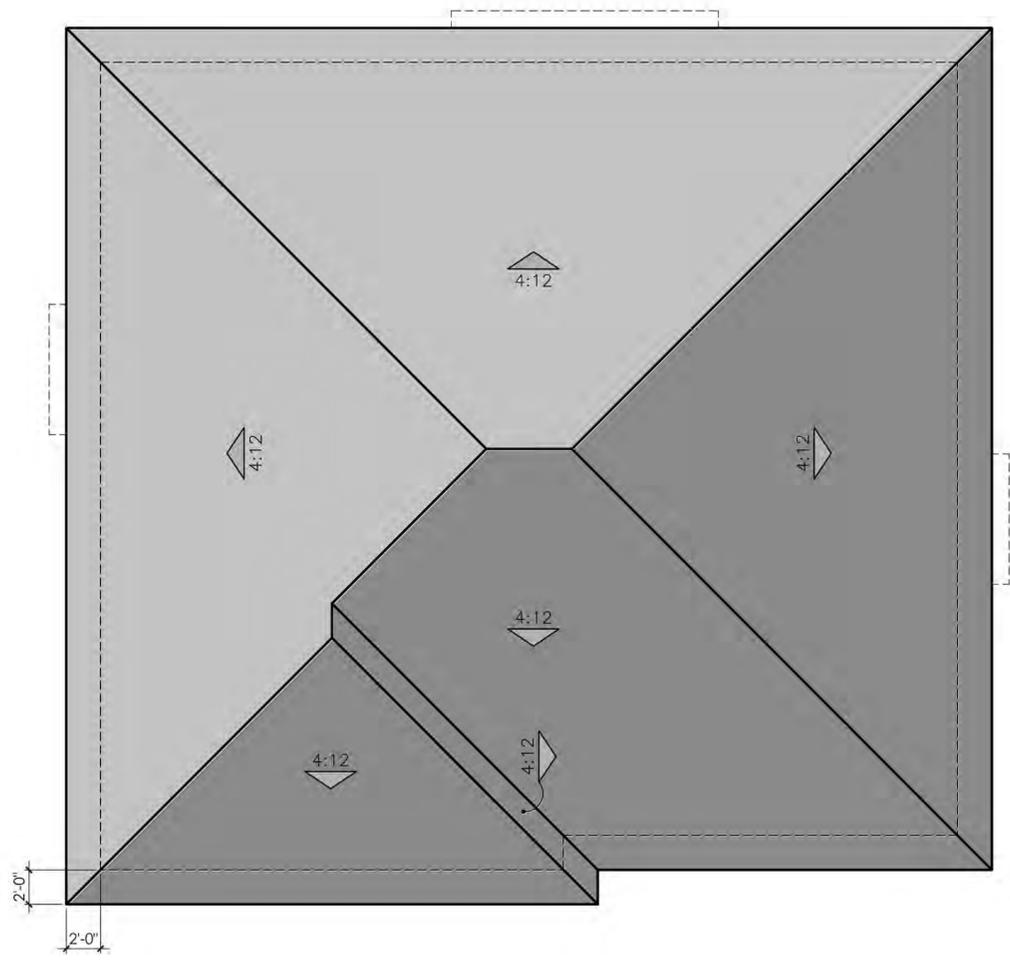
LEFT

COLOR SCHEME 7
PLAN 1
 CRAFTSMAN "C"- ENHANCED ELEVATION

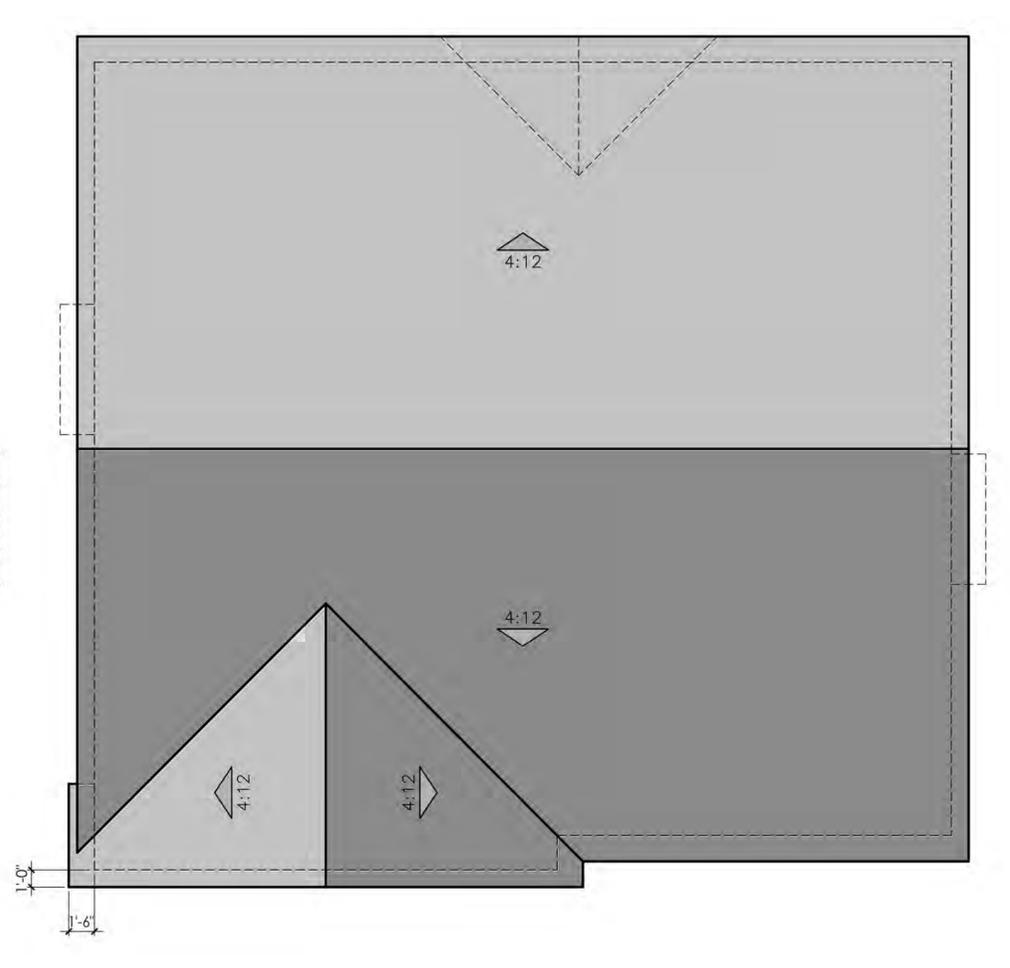




"A" - SPANISH



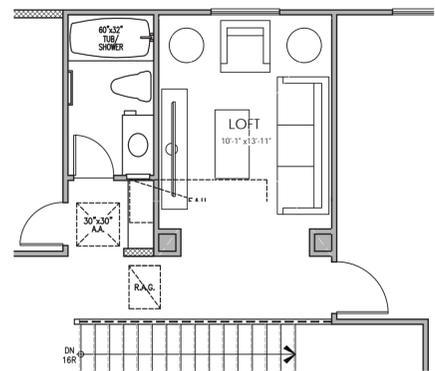
"B" - PRAIRIE



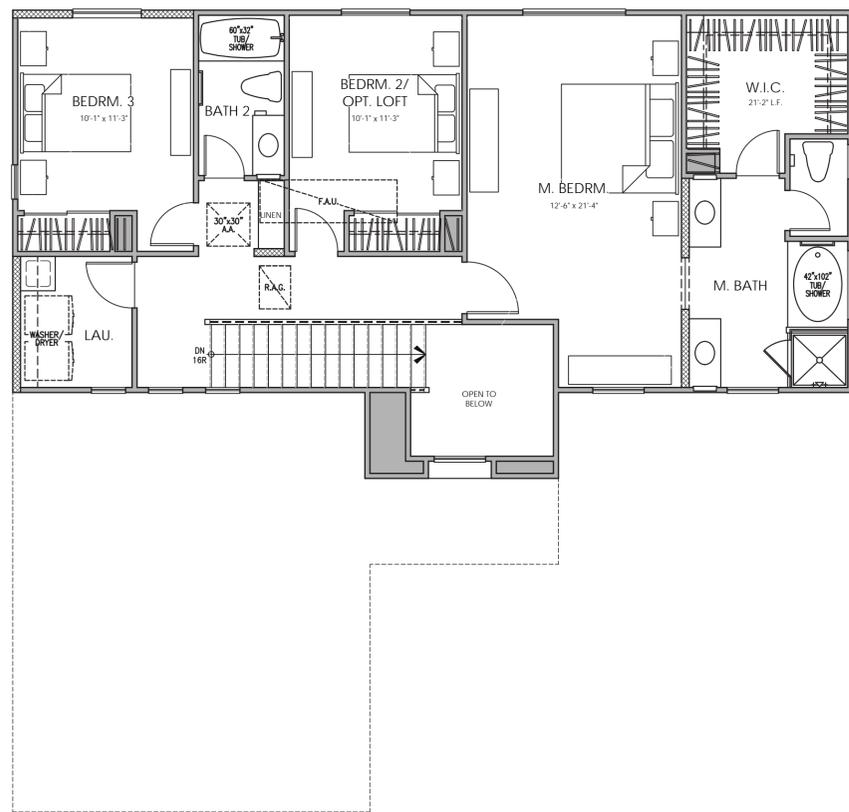
"C" - CRAFTSMAN

ROOF PLANS
PLAN 1

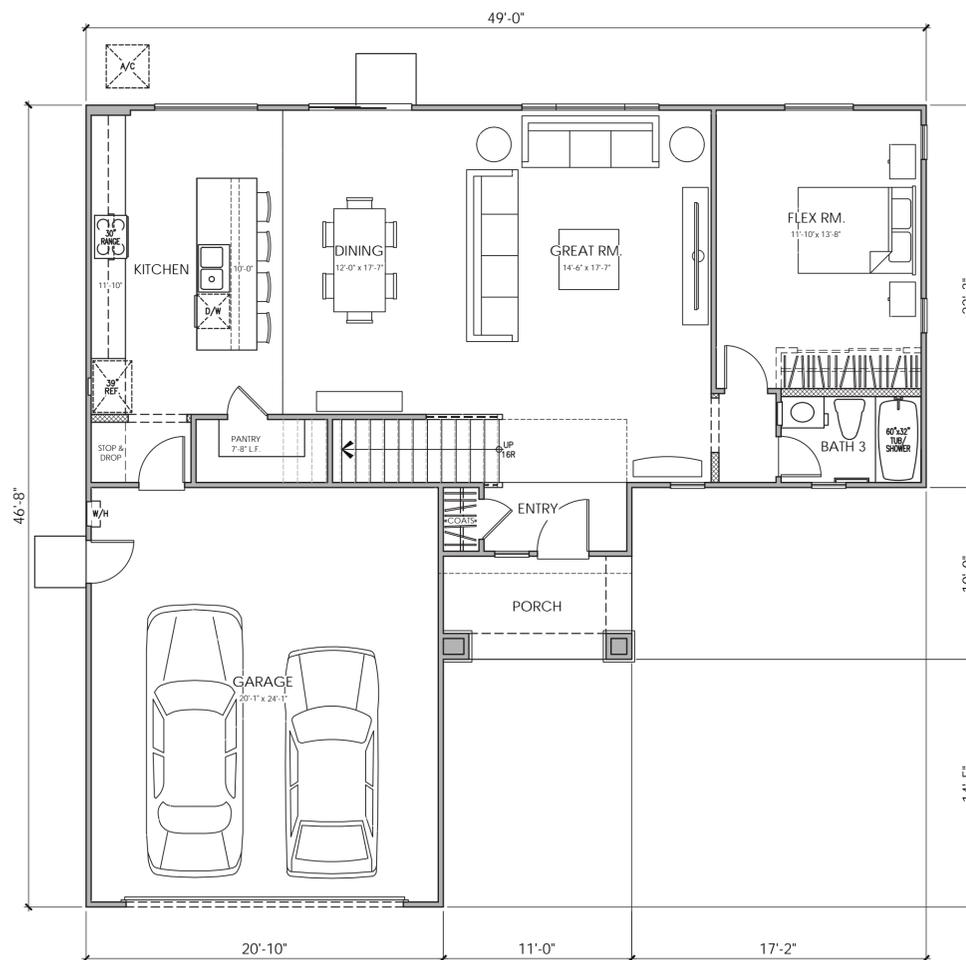




OPT. LOFT



SECOND FLOOR PLAN

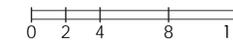


FIRST FLOOR PLAN

PLAN 2
4 BEDROOM, 3 BATH, OPT. LOFT, OPT. SUPER GREAT ROOM

PLAN 2
AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	1,137 SQ. FT.
SECOND FLOOR AREA	1,012 SQ. FT.
TOTAL DWELLING	2,149 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	506 SQ. FT.
PORCH "A", "B" & "C"	66 SQ. FT.





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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

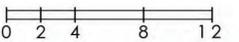


REAR



LEFT

COLOR SCHEME 2
PLAN 2
 SPANISH "A" - ELEVATION





RIGHT



REAR



LEFT

COLOR SCHEME 2
PLAN 2
 SPANISH "A" - ENHANCED ELEVATION





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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT



REAR



LEFT

COLOR SCHEME 5
 PLAN 2
 PRAIRIE "B" - ELEVATION





RIGHT



REAR



LEFT

COLOR SCHEME 5
PLAN 2
 PRAIRIE "B" - ENHANCED ELEVATION





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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT



REAR



LEFT

COLOR SCHEME 8
PLAN 2
 CRAFTSMAN "C" - ELEVATION





RIGHT

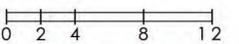


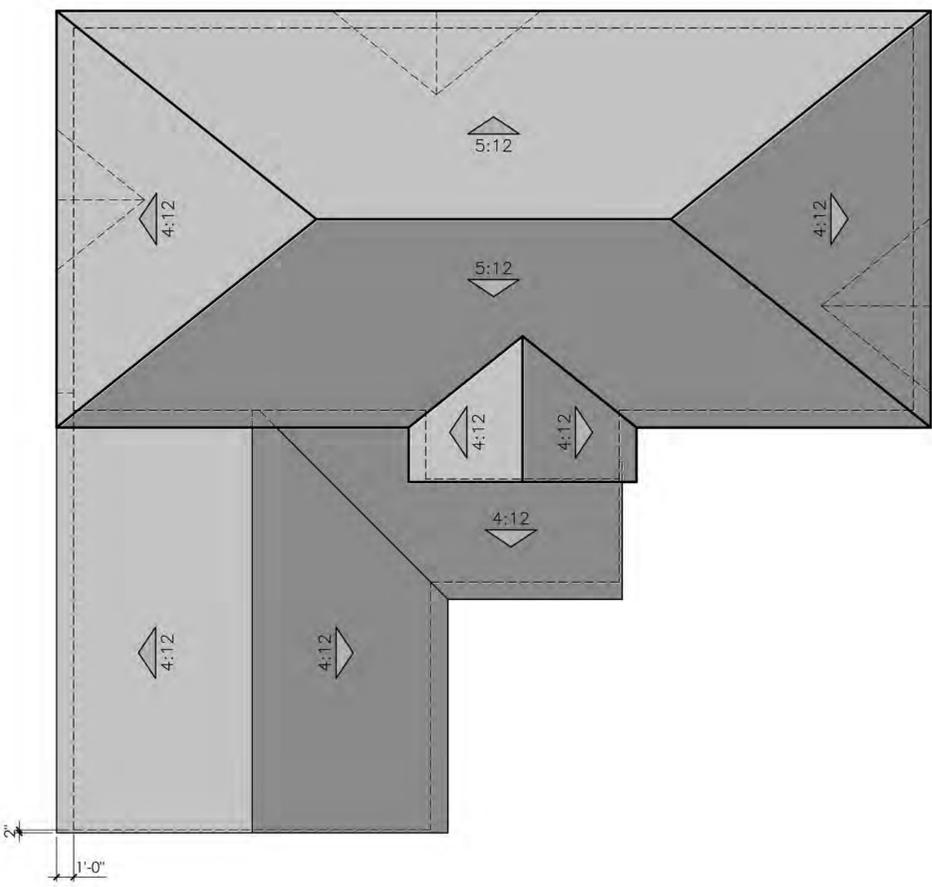
REAR



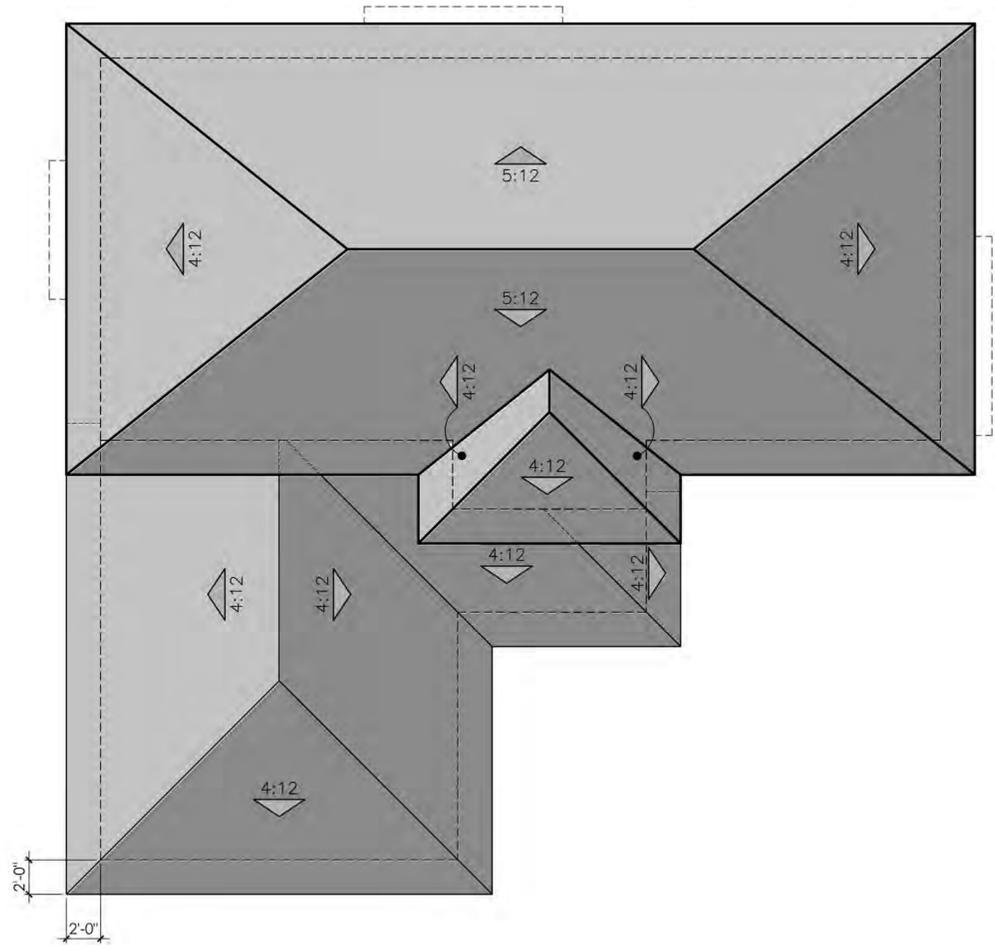
LEFT

COLOR SCHEME 8
PLAN 2
 CRAFTSMAN "C" - ENHANCED ELEVATION

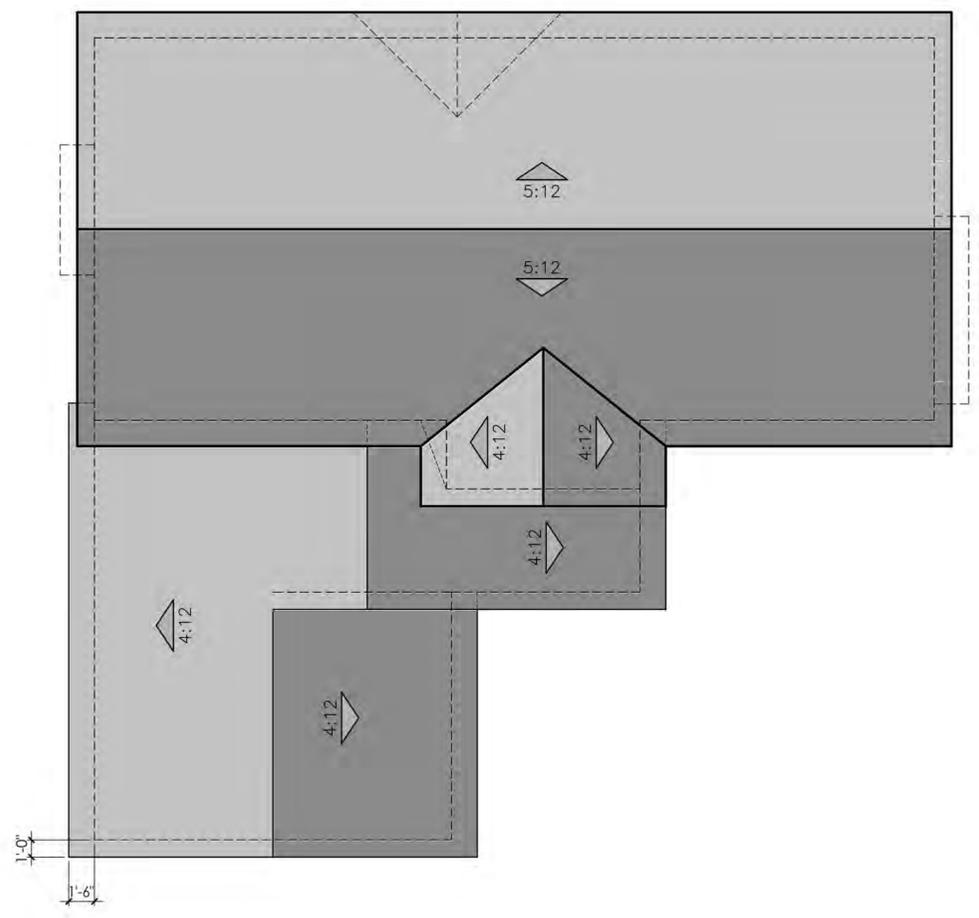




"A" - SPANISH



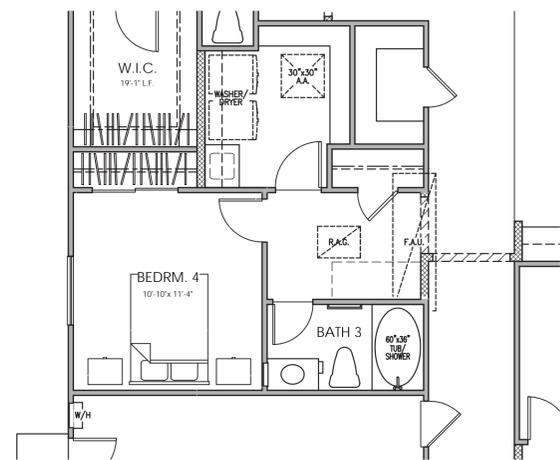
"B" - PRAIRIE



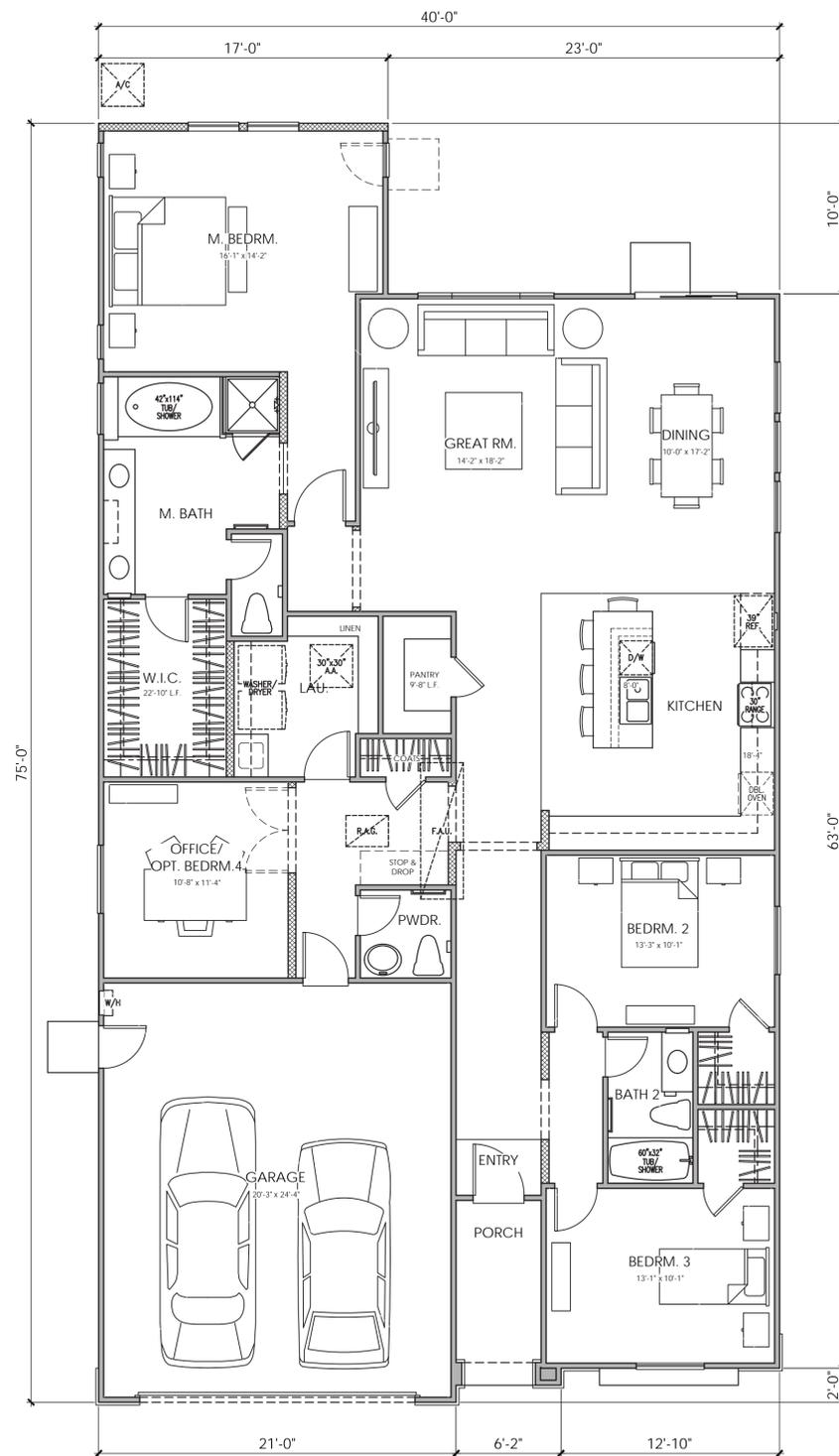
"C" - CRAFTSMAN

ROOF PLANS
PLAN 2





OPTIONAL BEDROOM 4,
BATH 3

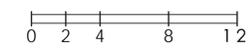


FLOOR PLAN

PLAN 3

3 BEDROOM, 3 BATH, OFFICE/ OPT. BEDROOM 4 BATH 3

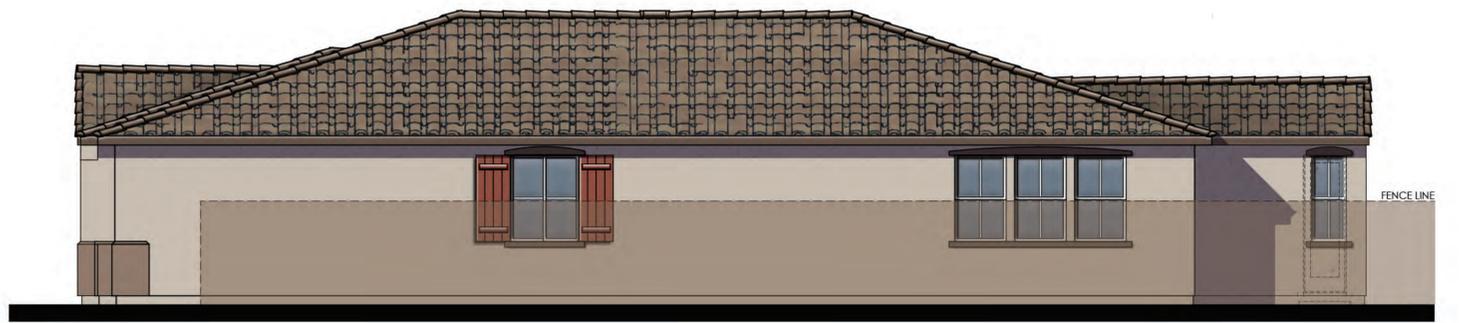
PLAN 3 AREA TABULATION	
CONDITIONED SPACE	
FLOOR AREA	2,172 SQ. FT.
TOTAL DWELLING	2,172 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	510 SQ. FT.
PORCH	49 SQ. FT.





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FRONT



RIGHT

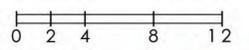


REAR



LEFT

COLOR SCHEME 3
PLAN 3
 SPANISH "A"- ELEVATION





RIGHT

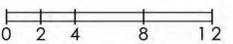


REAR



LEFT

COLOR SCHEME 3
PLAN 3
 SPANISH "A"- ENHANCED ELEVATION





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FRONT



RIGHT



REAR



LEFT

COLOR SCHEME 6
 PLAN 3
 PRAIRIE "B"- ELEVATION





RIGHT

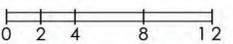


REAR



LEFT

COLOR SCHEME 6
PLAN 3
 PRAIRIE "B"- ENHANCED ELEVATION





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FRONT



RIGHT

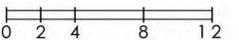


REAR



LEFT

COLOR SCHEME 9
 PLAN 3
 CRAFTSMAN "C"- ELEVATION





RIGHT

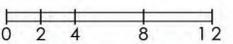


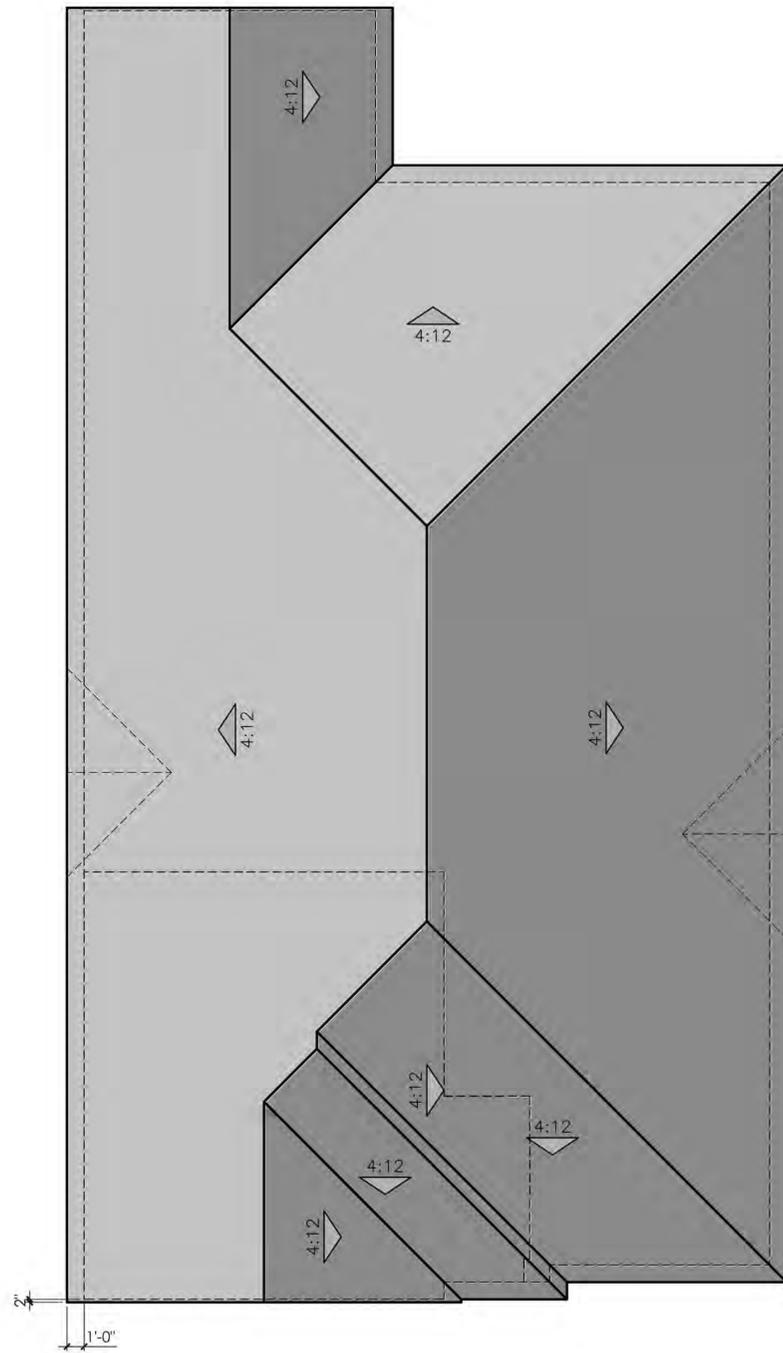
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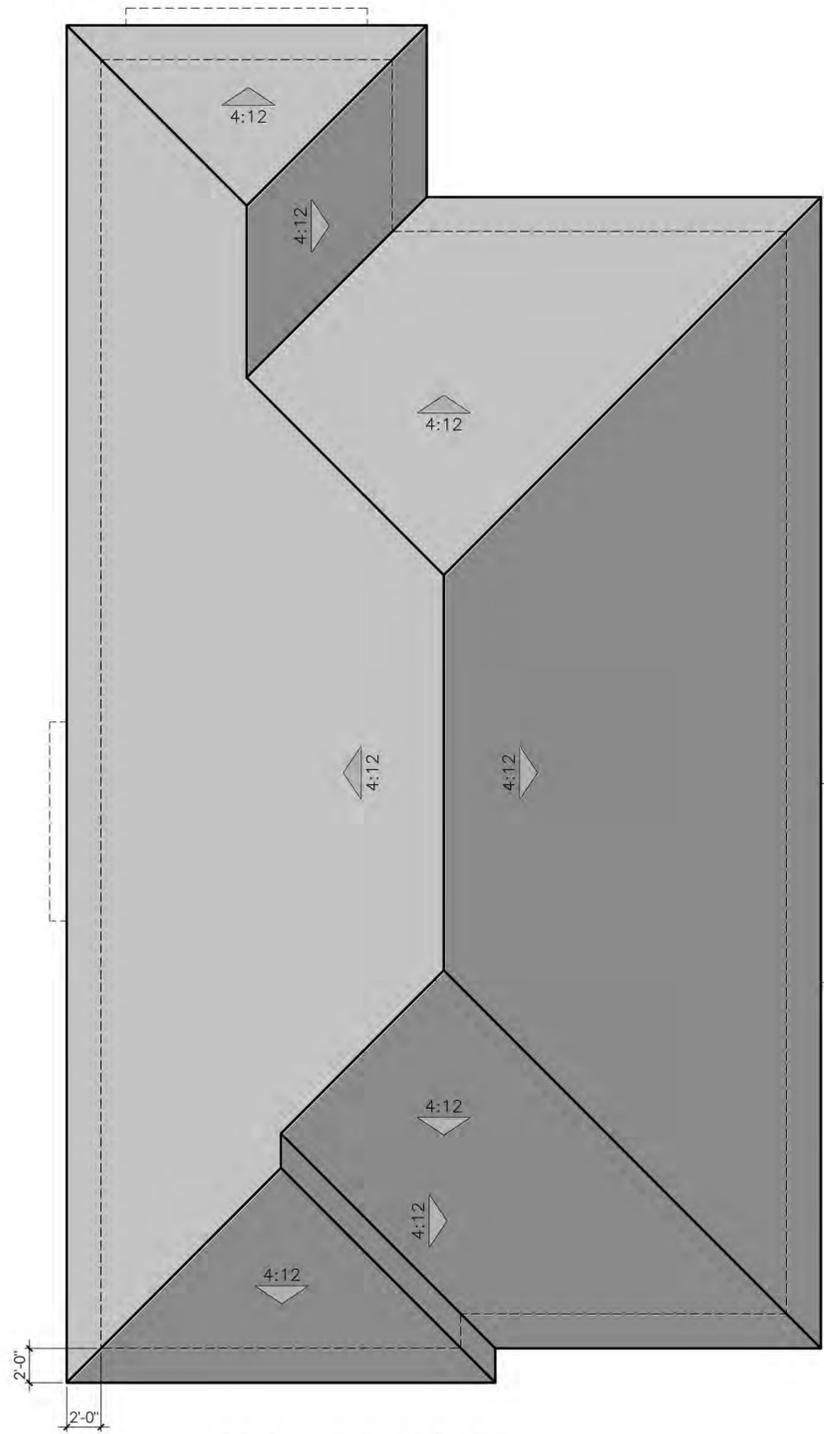
LEFT

COLOR SCHEME 9
PLAN 3
 CRAFTSMAN "C"- ENHANCED ELEVATION

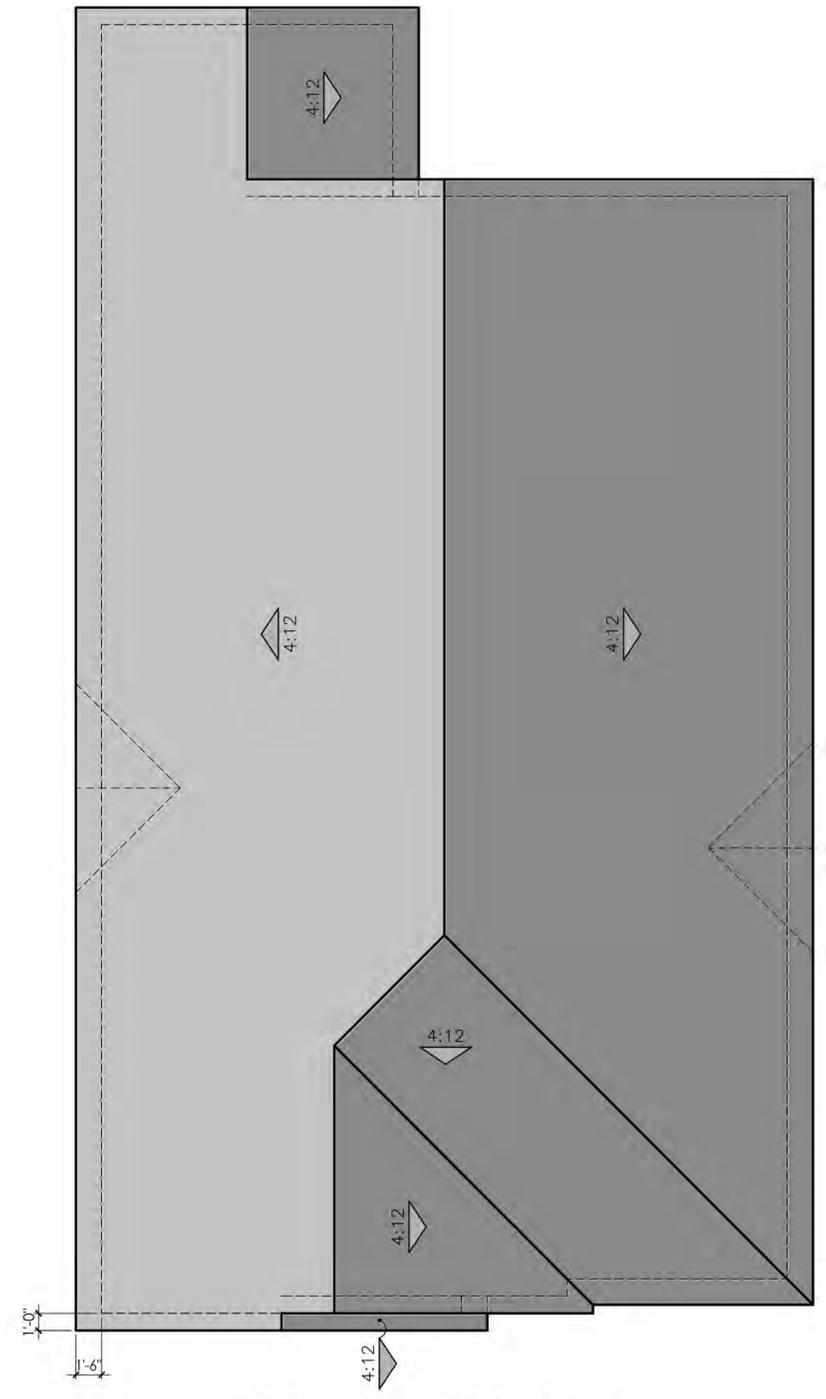




"A" - SPANISH



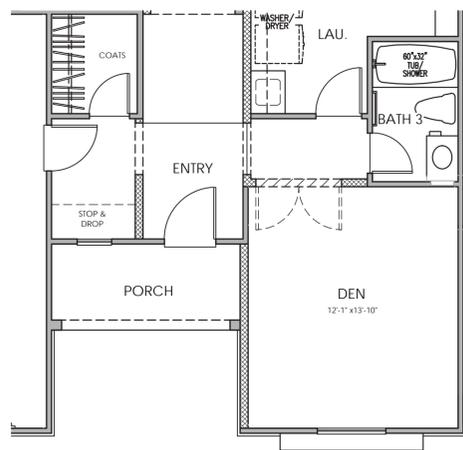
"B" - PRAIRIE



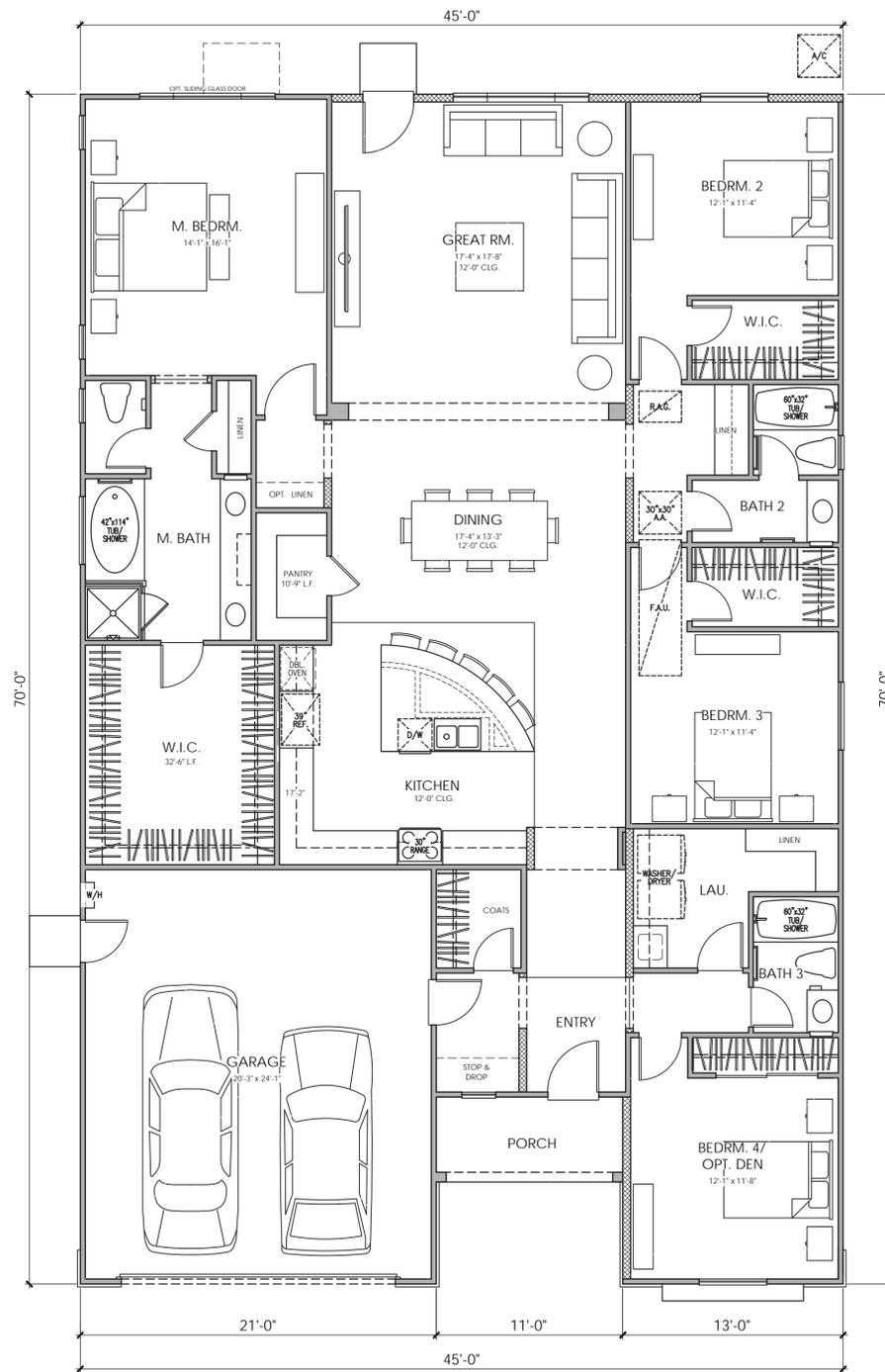
"C" - CRAFTSMAN

ROOF PLANS
PLAN 3





OPTIONAL DEN



FLOOR PLAN

PLAN 4
4 BEDROOM, 3 BATH

PLAN 4
AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	2,523 SQ. FT.
TOTAL DWELLING	2,523 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	505 SQ. FT.
PORCH	55 SQ. FT.





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FRONT



RIGHT



REAR



LEFT

COLOR SCHEME 1
PLAN 4
 SPANISH "A"- ELEVATION





RIGHT



LEFT

COLOR SCHEME 1

PLAN 4

SPANISH "A"- ENHANCED ELEVATION





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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

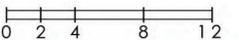


REAR



LEFT

COLOR SCHEME 4
PLAN 4
 PRAIRIE "B"- ELEVATION





RIGHT



LEFT

COLOR SCHEME 4

PLAN 4

PRAIRIE "B"- ENHANCED ELEVATION





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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT



REAR



LEFT

COLOR SCHEME 7
PLAN 4
 CRAFTSMAN "C"- ELEVATION





RIGHT



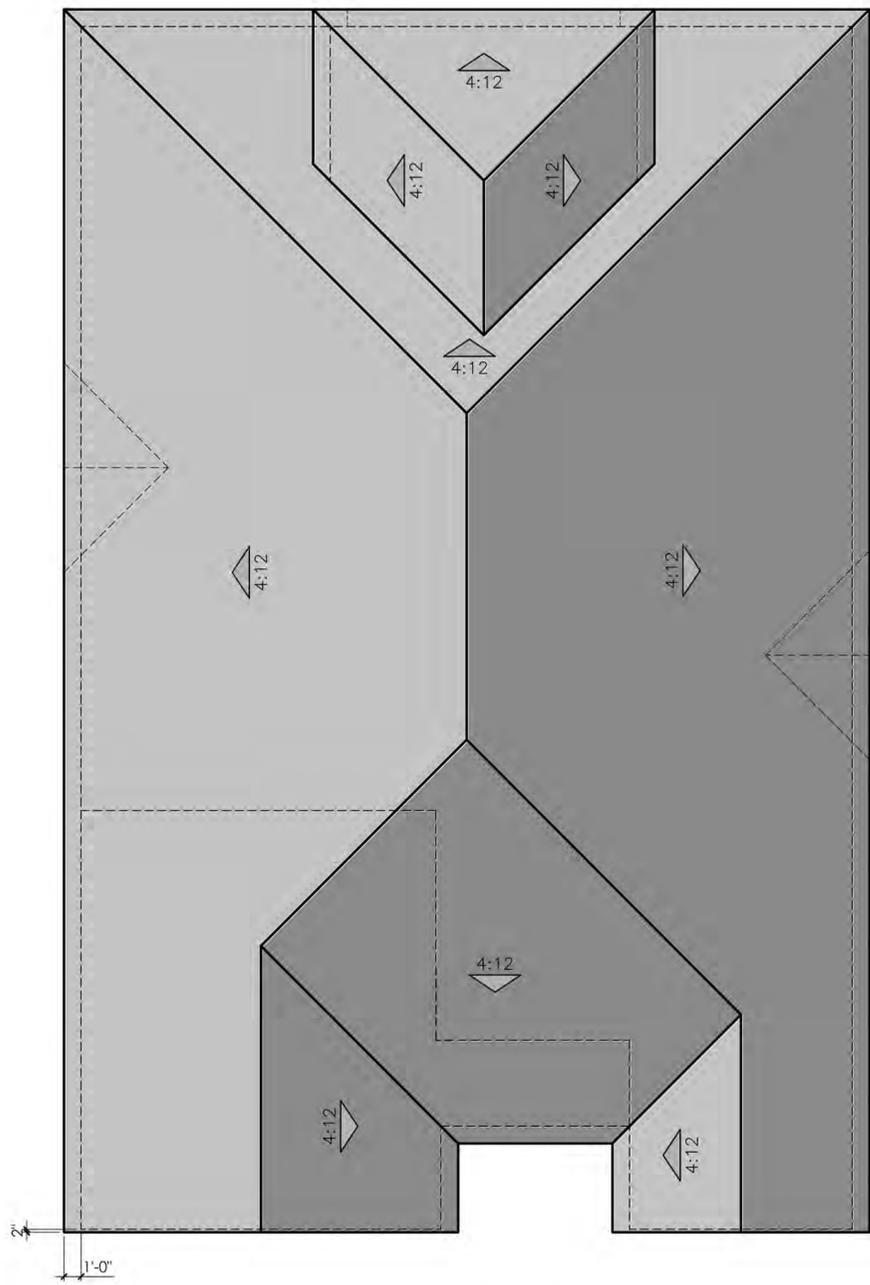
LEFT

COLOR SCHEME 7

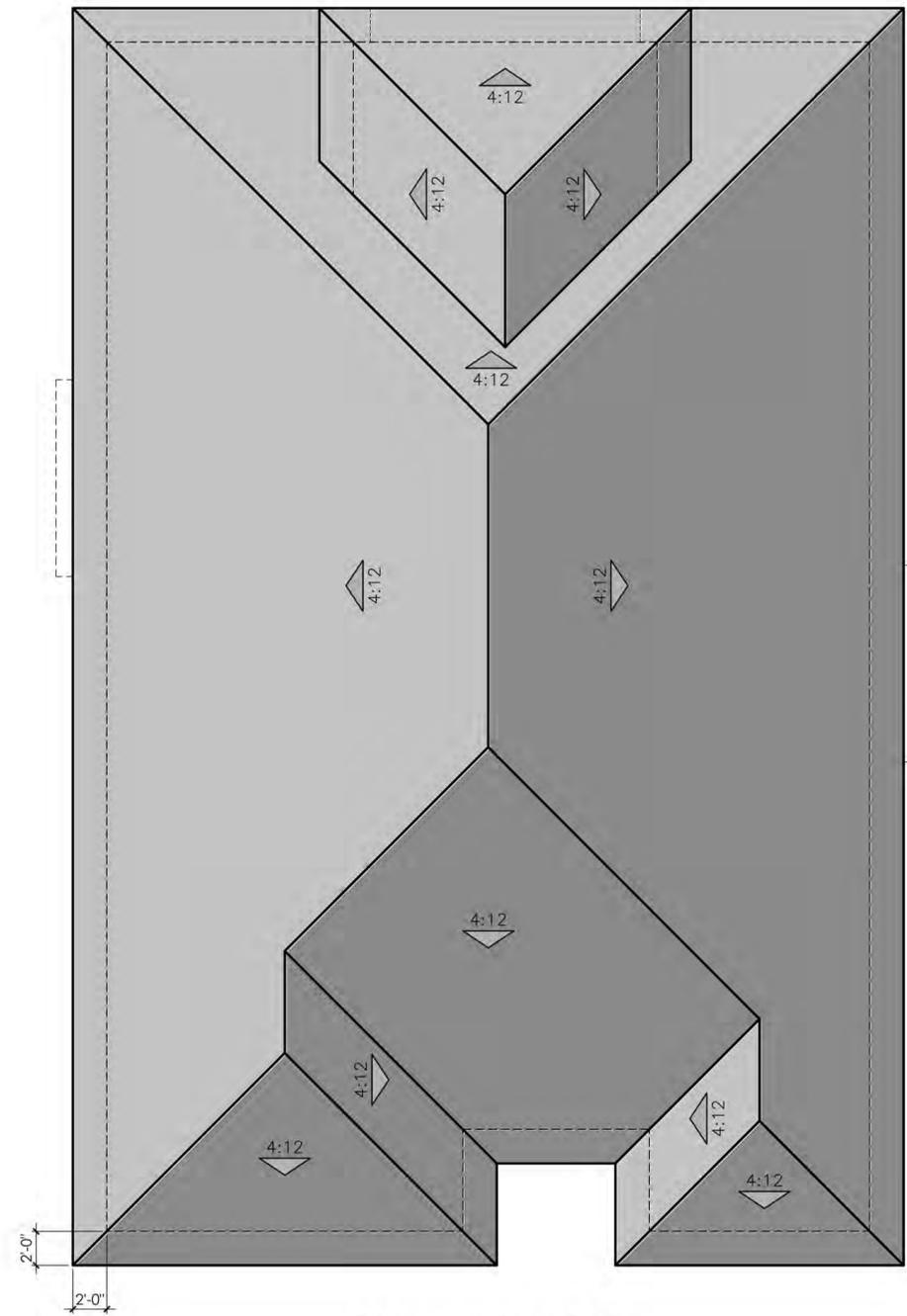
PLAN 4

CRAFTSMAN "C"- ENHANCED ELEVATION

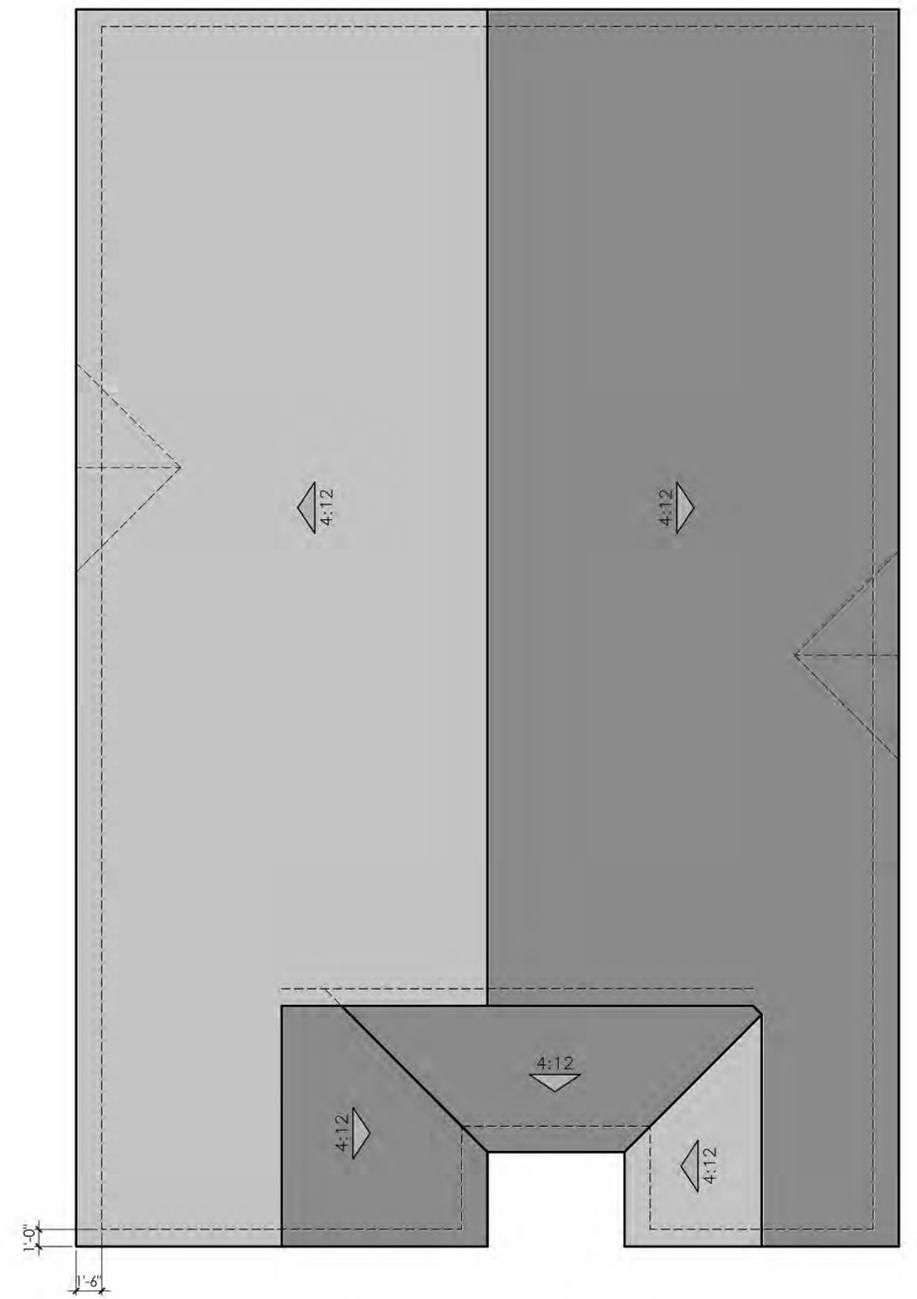




"A" - SPANISH

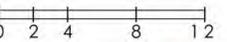


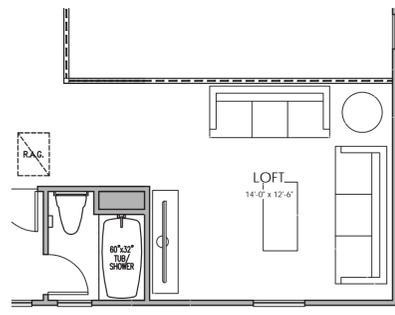
"B" - PRAIRIE



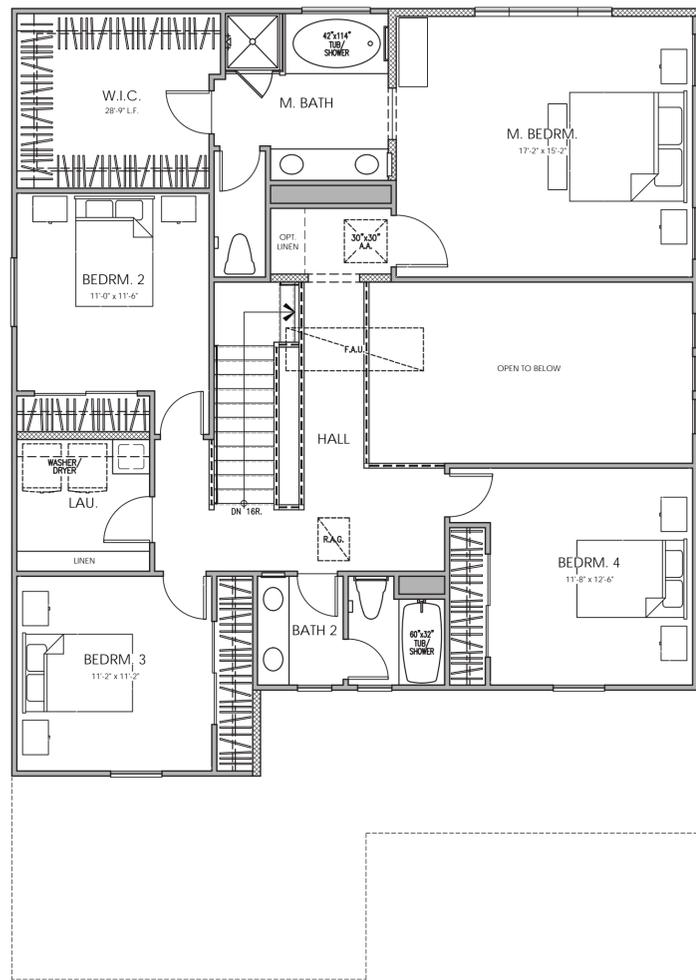
"C" - CRAFTSMAN

ROOF PLANS
PLAN 4

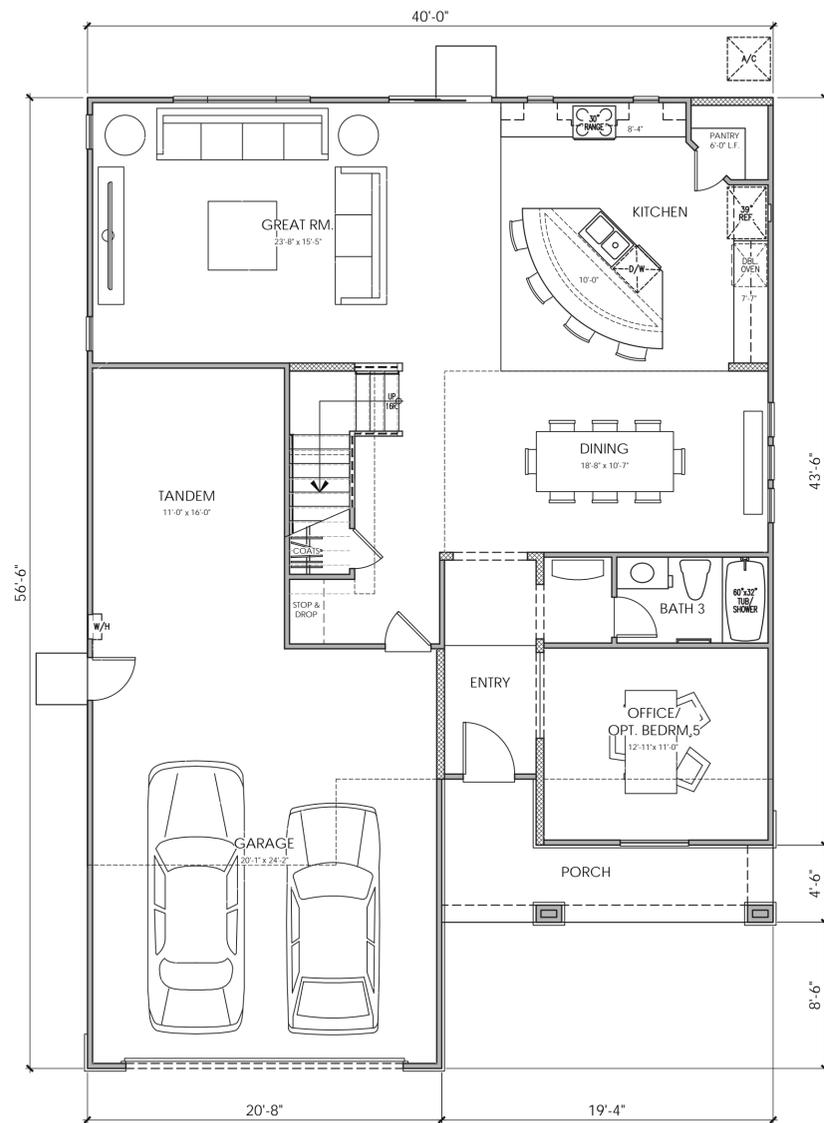




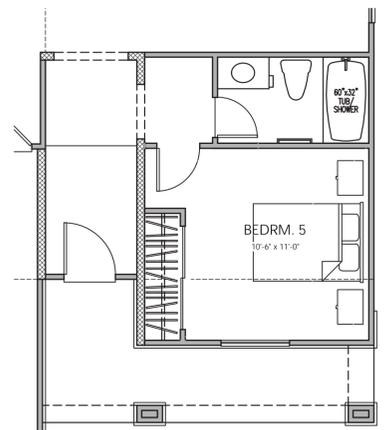
OPTIONAL LOFT



SECOND FLOOR PLAN



FIRST FLOOR PLAN



OPTIONAL BEDROOM 5

PLAN 5
AREA TABULATION

CONDITIONED SPACE	
FIRST FLOOR AREA	1,304 SQ. FT.
SECOND FLOOR AREA	1,393 SQ. FT.
TOTAL DWELLING	2,697 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	684 SQ. FT.
PORCH "A"	108 SQ. FT.
PORCH "B"	54 SQ. FT.
PORCH "C"	54 SQ. FT.

PLAN 5
4 BEDROOM, 3 BATH, OFFICE/ OPT. BEDROOM 5, OPT. LOFT





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FRONT



RIGHT



REAR



LEFT

COLOR SCHEME 2
PLAN 5
 SPANISH "A" - ELEVATION





RIGHT

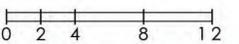


REAR



LEFT

COLOR SCHEME 2
PLAN 5
 SPANISH "A" - ENHANCED ELEVATION





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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

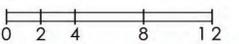


REAR



LEFT

COLOR SCHEME 5
 PLAN 5
 PRAIRIE "B" - ELEVATION





RIGHT

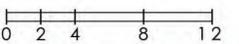


REAR



LEFT

COLOR SCHEME 5
PLAN 5
 PRAIRIE "B" - ENHANCED ELEVATION





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Refer to landscape drawings for wall, tree, and shrub locations

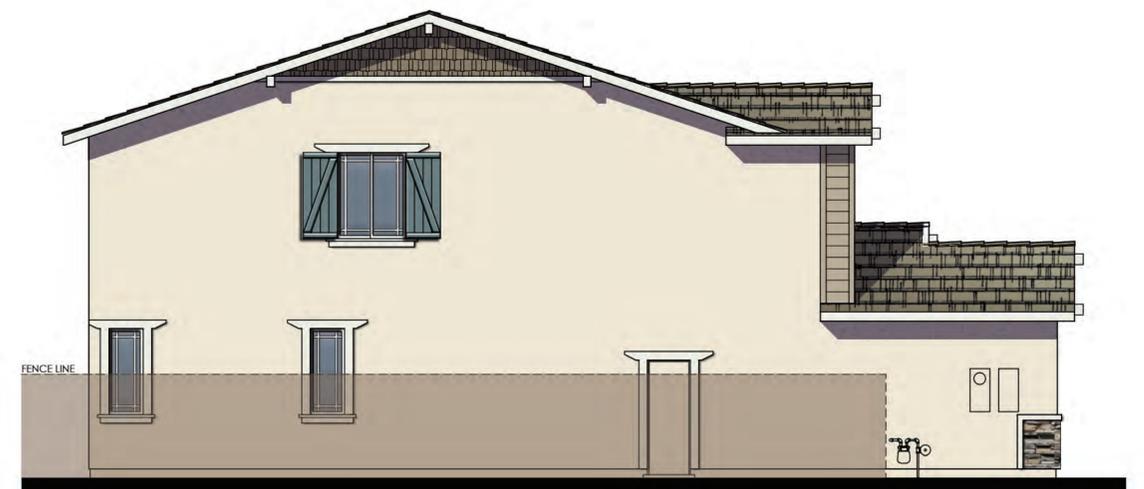
FRONT



RIGHT



REAR



LEFT

COLOR SCHEME 8
 PLAN 5
 CRAFTSMAN "C" - ELEVATION





RIGHT

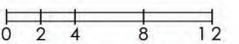


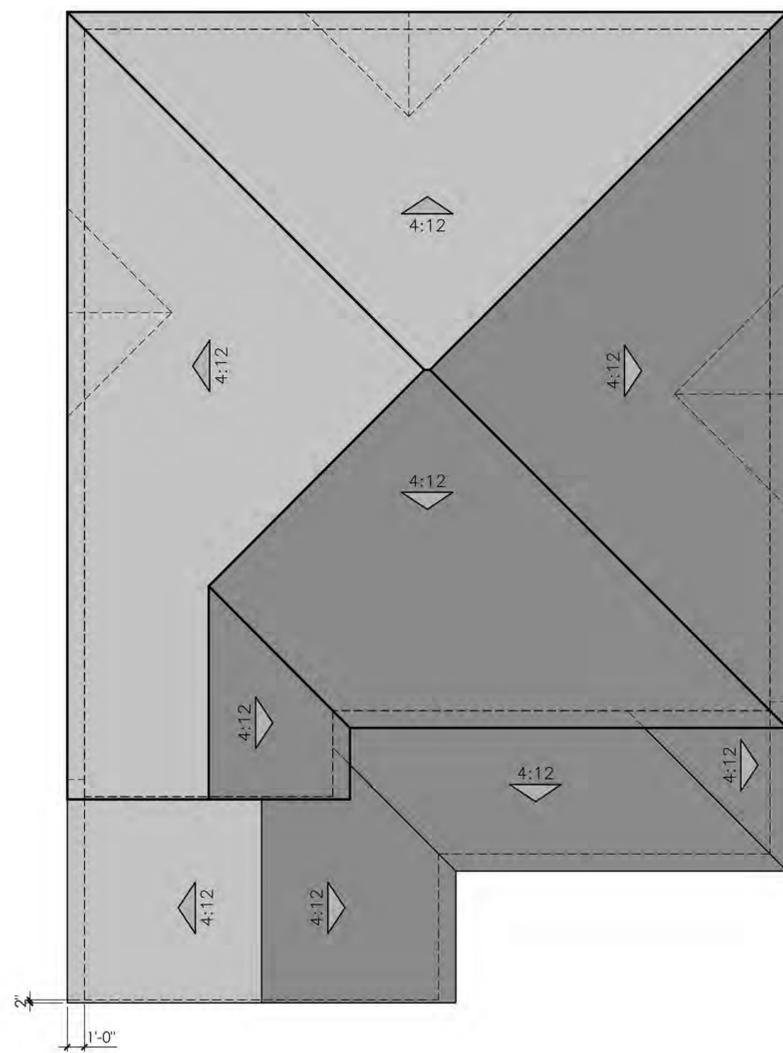
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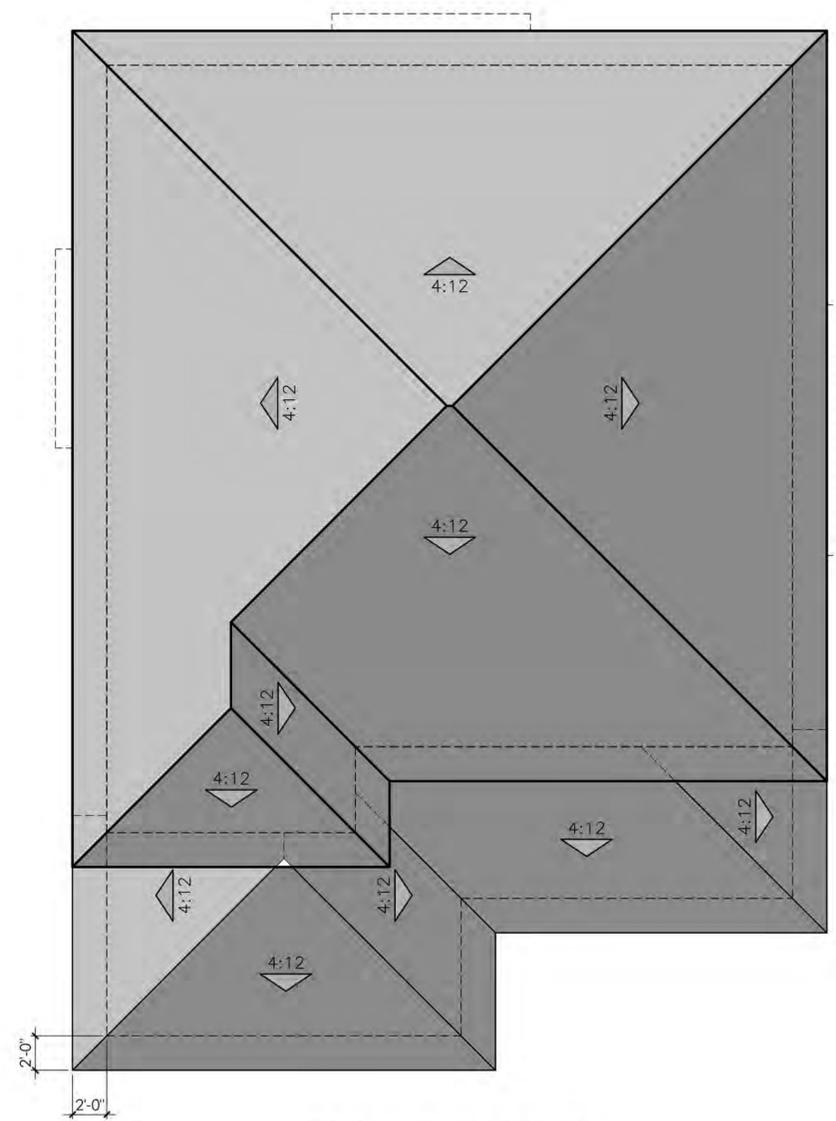
LEFT

COLOR SCHEME 8
PLAN 5
 CRAFTSMAN "C" - ENHANCED ELEVATION

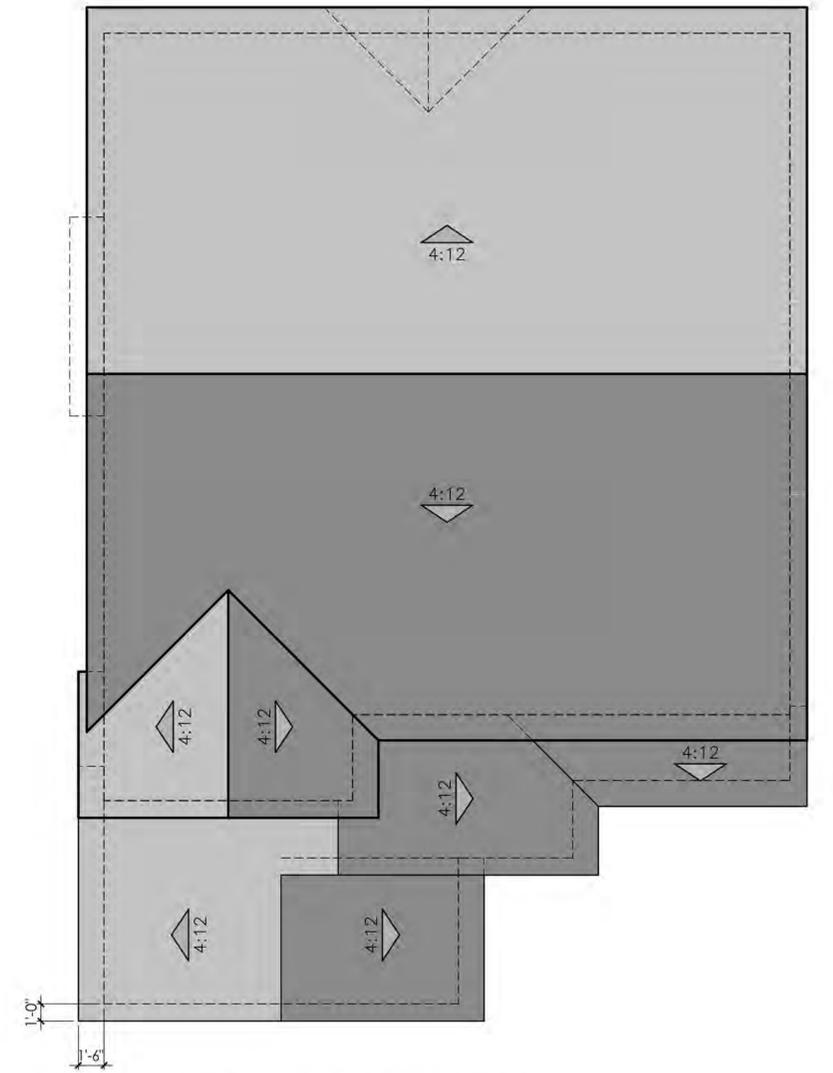




"A" - SPANISH

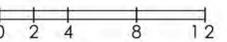


"B" - PRAIRIE



"C" - CRAFTSMAN

ROOF PLANS
PLAN 5





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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

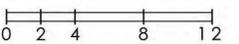


REAR



LEFT

COLOR SCHEME 3
PLAN 6
 SPANISH "A" - ELEVATION





RIGHT



REAR



LEFT

COLOR SCHEME 3
PLAN 6
 SPANISH "A" - ENHANCED ELEVATION





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FRONT



RIGHT



REAR



LEFT

COLOR SCHEME 6
PLAN 6
 PRAIRIE "B" - ELEVATION





RIGHT

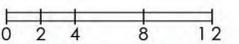


REAR



LEFT

COLOR SCHEME 6
PLAN 6
 PRAIRIE "B" - ENHANCED ELEVATION





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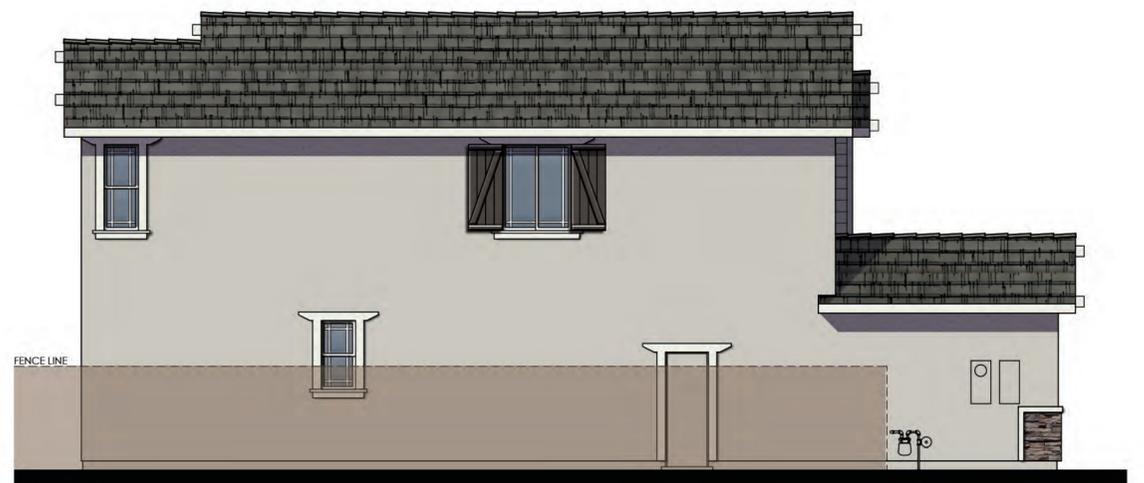
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RIGHT

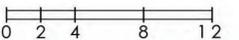


REAR



LEFT

COLOR SCHEME 9
PLAN 6
 CRAFTSMAN "C" - ELEVATION





RIGHT

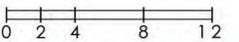


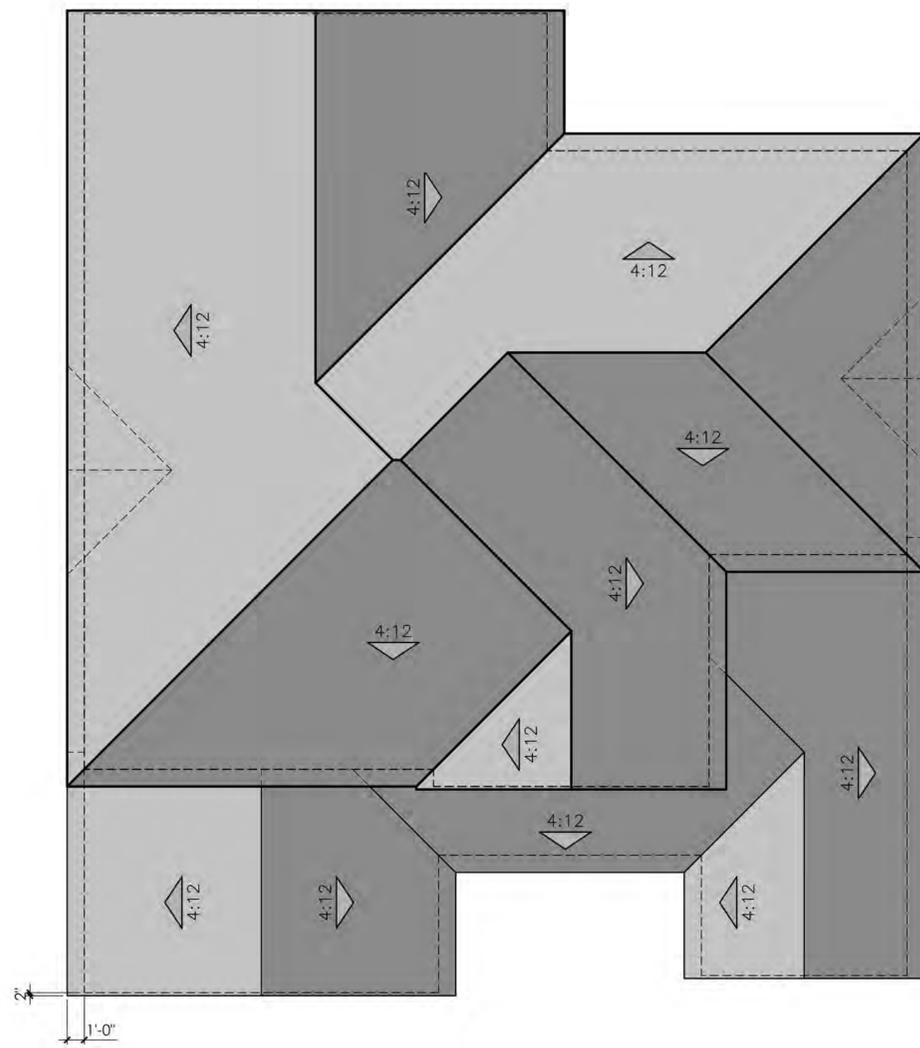
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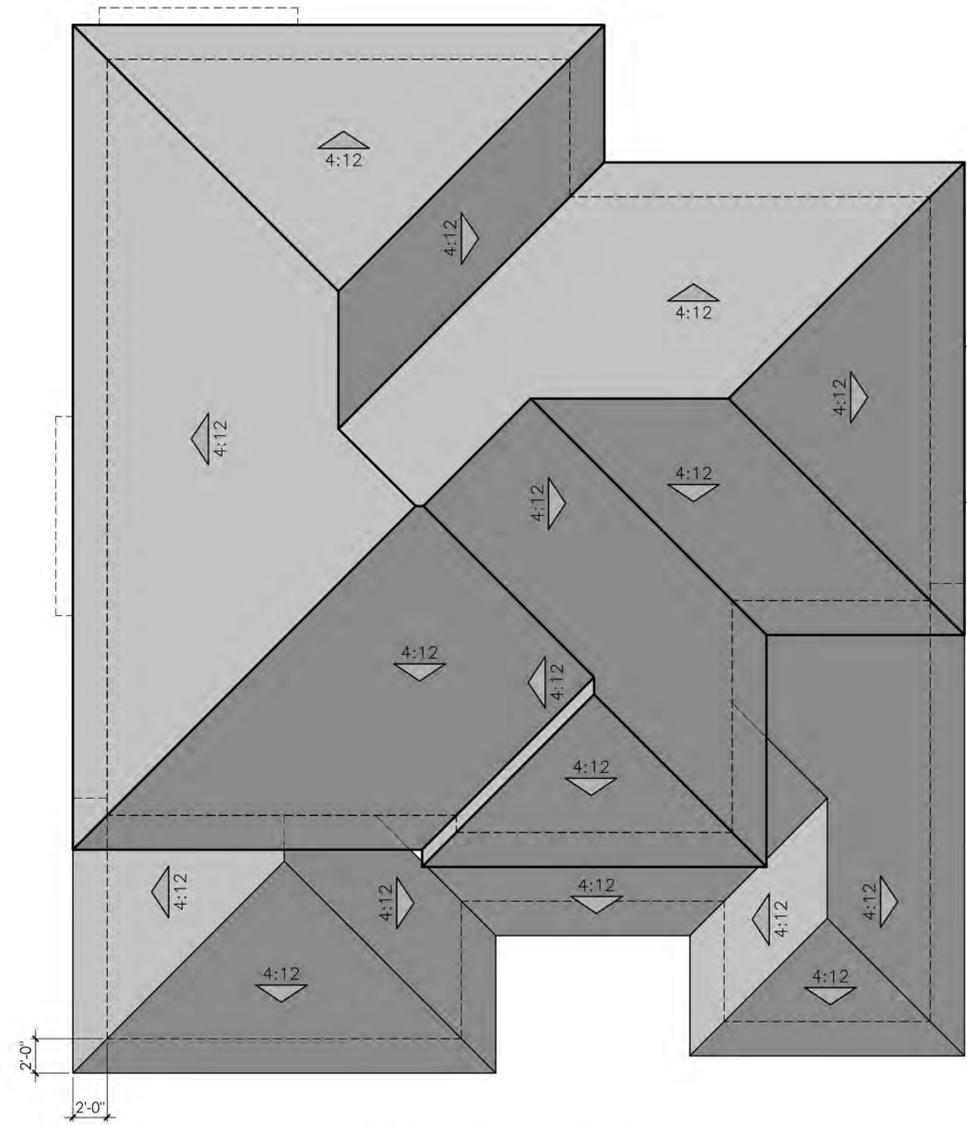
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COLOR SCHEME 9
PLAN 6
 CRAFTSMAN "C" - ENHANCED ELEVATION

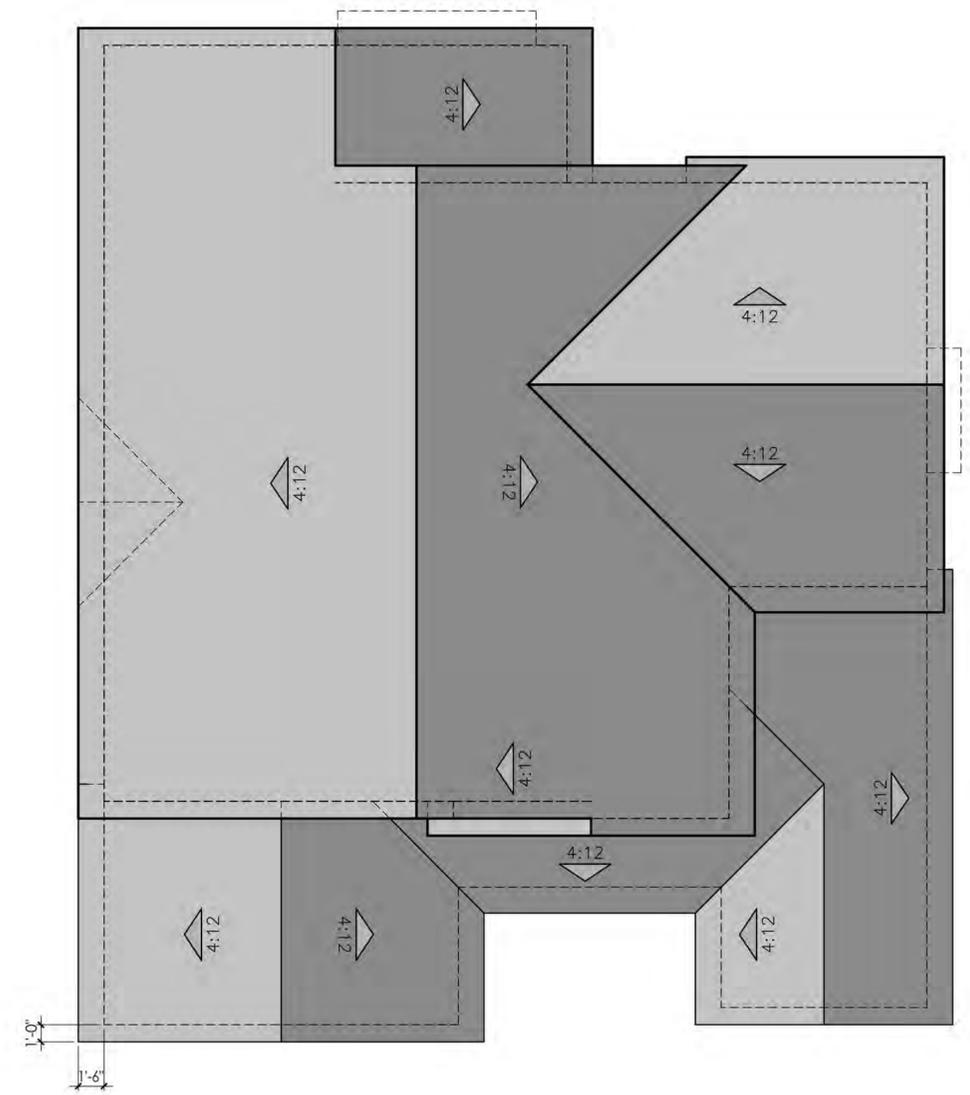




"A" - SPANISH

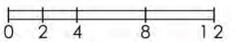


"B" - PRAIRIE



"C" - CRAFTSMAN

ROOF PLANS
PLAN 6



"A" ELEVATIONS			
SPANISH	SCHEME 1	SCHEME 2	SCHEME 3
STUCCO	1558	1501	1624
STUCCO PAINT MATCH**	PPG1098-4 SPICED VINEGAR	PPG1020-1 ATRIUM WT	PPG1023-3 ASHEN
SECONDARY STUCCO	PPG1086-5 EARTHY OCHER	PPG1085-5 SAUTEED MUSHROOM	PPG1076-5 LOCOMOTION
FASCIA / TRIM / GARAGE DOOR	PPG1084.7 MAPLE SYRUP	PPG1085-7 FIG BRANCHES	PPG1076-7 GROUND COFFEE
FRONT DOOR / SHUTTERS	PPG1021-7 CABIN FEVER	PPG1010-7 ZOMBIE	PPG1066-7 BAKED BEAN
CLAY PIPES	PPG16-07 SOUTHERN WOOD	PPG16-07 SOUTHERN WOOD	PPG16-07 SOUTHERN WOOD
ROOF: "S" VILLA	1VICS0431 APPLE BARK	1VICS6169 CASA GRANDE	1VICS3182 GARNET BLEND

STUCCO: OMEGA
PAINT: PPG PAINTS
BRICK / STONE: CORONADO
ROOF: BORAL

"B" ELEVATIONS			
PRAIRIE	SCHEME 4	SCHEME 5	SCHEME 6
STUCCO	1596	1605	1510
STUCCO PAINT MATCH**	PPG14-27 TRUE KHAKI	PPG14-32 OSTRICH FEATHER	PPG1078-3 COMFORT
FASCIA / TRIM / GARAGE DOOR	PPG1024-2 ANTIQUE WHITE	PPG1022-1 HOURGLASS	PPG1084-1 SUGAR SOAP
FRONT DOOR / SHUTTERS	PPG1061-7 BIGFOOT	PPG1009-7 LICORICE	PPG1001-6 KNIGHT'S ARMOR
ROOF: (SLATE)	1FACS0330 APPALACHIAN BLEND	1FACS5354 STONE MTN. BLEND	1FACS0330 APPALACHIAN BLEND
BRICK: SPECIAL USED	COUNTRY	BEAR CREEK	TRIBECCA

"C" ELEVATIONS			
CRAFTSMAN	SCHEME 7	SCHEME 8	SCHEME 9
STUCCO	1509	1502	1565
STUCCO PAINT MATCH**	PPG1085-3 SRSLY SAND	PPG1096-1 INSTANT RELIEF	PPG1006-3 EARLY EVENING
FASCIA / TRIM / GARAGE DOOR	PPG1006-1 GYPSUM	PPG1006-1 GYPSUM	PPG1006-1 GYPSUM
SHINGLE SIDING AT GABLES	PPG1023-6 CLAM SHELL	PPG1024-6 PATCHES	PPG1010-5 DOWNPOUR
LAP SIDING/ CORNER BOARDS	PPG14-13 OYSTER SHELL	PPG14-27 TRUE KHAKI	PPG1010-4 STEPPING STONE
FRONT DOOR / SHUTTERS	PPG1033-6 GUNMETAL GRAY	PPG16-07 SOUTHERN WOOD	PPG1010-7 ZOMBIE
WROUGHT IRON	PPG1001-7 BLACK MAGIC	PPG1001-7 BLACK MAGIC	PPG1001-7 BLACK MAGIC
STONE: (DRYSTACK INSTALLATION)	QUICK STACK COASTAL BROWN	QUICK STACK CAPE COD GRAY	QUICK STACK CATHEDRAL GRAY
ROOF: (SHAKE)	1FBCJ0007 TOFFEE	1FBCJ0300 BRONZE PEARL	1FBCJ1430 CHARCOAL BLEND

Woodside Homes
BETTER BY DESIGN

Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

ALL FLASHING, GUTTERS, DOWNSPOUTS ETC. TO BE PAINTED TO MATCH ADJACENT SURFACE. ALL PAINT BREAKS TO BE CUT AT INSIDE CORNERS. SIDE AND REAR ELEVATIONS TO RECEIVE SAME TREATMENT AS FRONT ELEVATIONS
** FOR PHOTOSHOP USE ONLY, DO NOT USE IN THE FIELD

WRITTEN COLOR SCHEMES

SPANISH
SCHEME #1



STUCCO BODY

ROOF

SECONDARY STUCCO
FASCIA / TRIM / GARAGE DOOR
FRONT DOOR / SHUTTERS
CLAY PIPES

Woodside Homes
BETTER BY DESIGN
#20054
JUNE 1, 2020

YUCAIPA
YUCAIPA, CA

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SPANISH
SCHEME #2



STUCCO BODY

ROOF

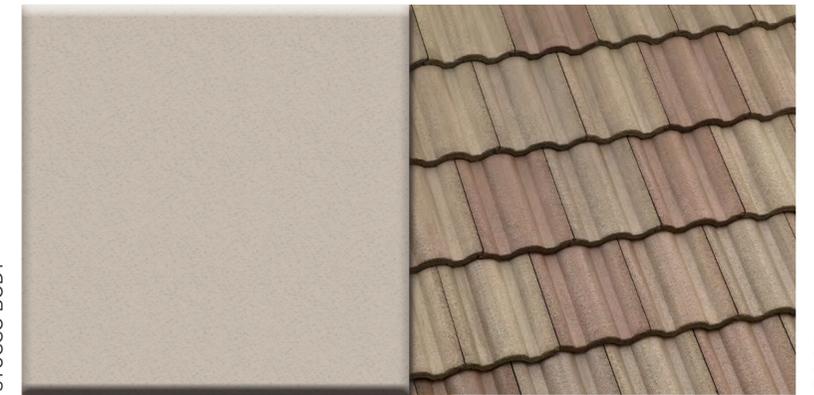
SECONDARY STUCCO
FASCIA / TRIM / GARAGE DOOR
FRONT DOOR / SHUTTERS
CLAY PIPES

Woodside Homes
BETTER BY DESIGN
#20054
JUNE 1, 2020

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SPANISH
SCHEME #3



STUCCO BODY

ROOF

SECONDARY STUCCO
FASCIA / TRIM / GARAGE DOOR
FRONT DOOR / SHUTTERS
CLAY PIPES

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BETTER BY DESIGN
#20054
JUNE 1, 2020

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YUCAIPA, CA

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PLANNING + ARCHITECTURE

COLOR BOARDS - SPANISH

PRAIRIE
SCHEME #4

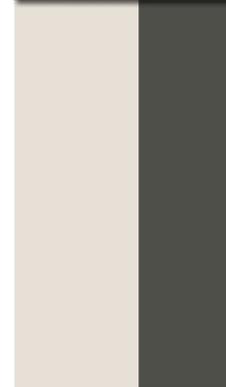


Woodside Homes
BETTER BY DESIGN
#20054
JUNE 1, 2020

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YUCAIPA, CA

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PRAIRIE
SCHEME #5

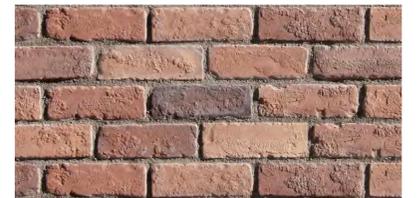


Woodside Homes
BETTER BY DESIGN
#20054
JUNE 1, 2020

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PRAIRIE
SCHEME #6



Woodside Homes
BETTER BY DESIGN
#20054
JUNE 1, 2020

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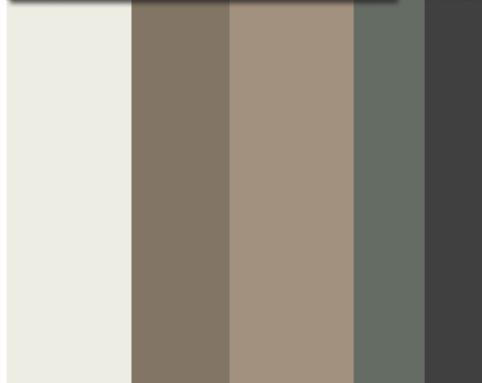
COLOR BOARDS - PRAIRIE

CRAFTSMAN
SCHEME #7



STUCCO BODY

ROOF



STONE

FASCIA / TRIM / GARAGE DOOR
SHINGLE SIDING AT GABLES
LAP SIDING
FRONT DOOR
WROUGHT IRON

Woodside Homes
BETTER BY DESIGN
#20054
JUNE 1, 2020

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PLANNING + ARCHITECTURE

CRAFTSMAN
SCHEME #8



STUCCO BODY

ROOF



STONE

FASCIA / TRIM / GARAGE DOOR
SHINGLE SIDING AT GABLES
LAP SIDING
FRONT DOOR
WROUGHT IRON

Woodside Homes
BETTER BY DESIGN
#20054
JUNE 1, 2020

YUCAIPA
YUCAIPA, CA

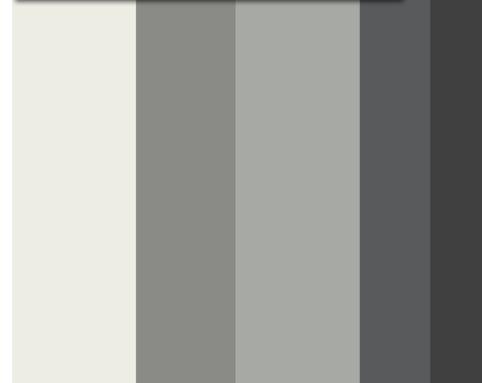
Kevin L. Crook
Architect
Inc
PLANNING + ARCHITECTURE

CRAFTSMAN
SCHEME #9



STUCCO BODY

ROOF



STONE

FASCIA / TRIM / GARAGE DOOR
SHINGLE SIDING AT GABLES
LAP SIDING
FRONT DOOR
WROUGHT IRON

Woodside Homes
BETTER BY DESIGN
#20054
JUNE 1, 2020

YUCAIPA
YUCAIPA, CA

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COLOR BOARDS - CRAFTSMAN

**CITY OF YUCAIPA
DEVELOPMENT SERVICES DEPARTMENT
AGENDA REPORT**

TO: Honorable Chairman and Planning Commissioners

FROM: Benjamin J. Matlock, Planning Manager/City Planner

FOR: Planning Commission Meeting of July 1, 2020

SUBJECT: Simmons – Novak – Rellim (Case No. 19-074/CUP/MNV/TPM No. 20221): A Conditional Use Permit to permit a sixteen (16) unit multiple family Project consisting of seven (7) duplex units and two (2) individual units, with a Minor Variance to permit a front yard setback of 22 feet in lieu of 25 feet, and a Tentative Parcel Map (TPM No. 20221) to subdivide the Project from an existing single family residence; Located at 13009 4th Street; APN: 0319-161-24

RECOMMENDATION:

That the Planning Commission conduct a public hearing; and:

- A) Approve Conditional Use Permit No. 19-074 and Tentative Parcel Map No. 20221 subject to the Conditions of Approval as contained in this Agenda Report; and
- B) Adopt the Conditional Use Permit and Subdivision Findings as contained in this Agenda Report; and
- C) Adopt the Minor Variance Findings as contained in the Agenda Report; and
- D) Adopt a Categorical Exemption pursuant to Section 15305 (Class 5) and 15332 (Class 32) of the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended; and
- E) Direct Staff to file a Notice of Exemption.

And then close the public hearing, and then Planning Commission review the proposed architecture and conceptual landscape design, and if it is acceptable, approve the design.

BACKGROUND:

Surrounding Land Uses:

Area Land Use Designations; Improvement Levels; and existing Land Uses:

Site:	RM-72C (Multiple Residential – 7,200 sq. ft. minimum lot size)	IL-1	Single-family Residence
North:	RM-72C	IL-1	Single-family Residence
South:	RM-72C	IL-1	Single-family Residence
East:	RM-72C	IL-1	Single-family Residence
West:	RM-72C	IL-1	Single-family Residence

DISCUSSION:

Location and Setting:

The proposed Project is located on a relatively flat, 2.4 acre rectangularly-shaped parcel on the east side of 4th Street, north of Wildwood Canyon Road. The site is currently improved with a single-family residence. Single-family development directly surrounds the Project site, and multiple family development is located within the vicinity of the Project site. The subject property is located within, and surrounded by, the RM-72C (Multiple Residential – 7,200 sq. ft. minimum lot size) Land Use District.

Project Design and Description:

The proposed Project consists of a Conditional Use Permit to allow the development of a total of 16 single-story, market rate apartment units on 2.15 acres. Pursuant to the Development Code, multiple family projects within the RM Land Use District which consists of five (5) or more units are subject to approval through the City’s Conditional Use Permit process. The Project is comprised of fourteen (14) new units in a duplex configuration, and two in a single unit configuration.

The new units constructed will provide a three (3) bedroom, two (2) bathroom floorplan with 1,050 square-feet of habitable living, and includes an attached two (2) car garage as required by the Development Code. Each of the new units will have the same layout, with a variation provided through a reverse floorplan as the structures are generally arranged as a duplex. Each unit is required to provide the amenities listed within Section 88.0210, Dwelling Size and Amenities, of the Development Code, and are listed on the floorplan exhibit if the Project Plans.

Private amenities to serve the residents of the development are also provided as part of the Project. Common areas proposed for the Project include a community focal point consisting of a recreation area to serve the residents onsite. Common area landscaping, private streets and guest parking spaces are also provided. Each residential unit is also provided with a private yard which exceeds the City’s minimum requirement of 100 square feet. Project fencing includes block wall along the perimeter of the site, and vinyl fencing between each unit. A mixture of shrubs and turf is proposed in front of each unit. An underground detention basin is provided along the northwest corner of the site, and will be designed to maintain the site’s historic drainage flows.

The Project has street frontage on 4th Street, which is a paved two (2) lane roadway with an ultimate right-of-way of 66 feet. The proposed Project would provide the necessary dedication for a 33-foot street half-width. The Project is also conditioned to construct the required street improvements, including, curb, gutter, sidewalk, and matchup paving to the existing street along the Project's street frontage. The internal drive aisle would be 24 feet wide to allow for two-way traffic, and will be privately maintained. A fire turnaround within the complex is provided to meet the access requirements of the California Fire Code.

Tentative Parcel Map:

A Tentative Parcel Map (TPM No. 20221) has been submitted to create two (2) separate parcels that will allow the proposed Project to be located on a different parcel from the existing residence. The existing residence, located on the proposed Parcel 1, will feature a lot size of 9,809 square feet, and the Project would be on the remaining 94,046 square feet, which is denoted as Parcel 2.

Minor Variance:

Pursuant to the Yucaipa Development Code, projects in the RM Land Use District are required to provide a front yard setback of 25 feet. The proposed Project has been designed with an effective front yard setback of 22 feet after the required 3-foot right of dedication is provided pursuant to the Conditions of Approval. In order to use the site as submitted, a Minor Variance pursuant to Section 83.030905 of the Yucaipa Development Code is required to permit a 40% reduction to the front yard setback requirements. Typically, a minor variance is evaluated administratively and can be approved by the City Planner. However, Planning Commission approval is required for a minor variance when combined with an additional action subject to Planning Commission review, including Conditional Use Permits.

The applicant has prepared the required Variance Findings for the Project, as required by the variance applicant submittal process, and are attached for the Commission's reference. In order to construct the proposed Project, the Planning Commission must adopt all four of the mandatory Findings that are required for the approval of a Variance (see attached Findings). These Findings recognize that there are extraordinary or unusual circumstances that apply to the property or to the intended use in order to justify the reduction of a particular development standard. Below are the four Minor Variance Findings and staff's recommendation that the Findings have been met.

Variance Finding 1:

The granting of this variance will not be materially detrimental to other properties or land uses in the area and will not substantially interfere with the present or future ability to use solar energy systems.

Staff Response: The proposed Project would result in the reduction of the front yard setback along 4th Street for the most westerly building that is proposed. However, the setback of 22 feet would be consistent with the location of the existing residence located onsite, and would not result in a greater projection towards the roadway than the existing condition. Maintaining the 22-foot setback between the newly proposed single-story building from the adjoining properties is not materially detrimental to other properties or land uses in the area. In addition, the single-story height of the

buildings would not interfere with any future neighboring solar arrays nor would it cast shadows or otherwise interfere with current or future solar facilities.

Variance Finding 2:

There are exceptional circumstances and conditions applicable to this property and its permitted use that do not apply to other properties in the vicinity and in particular the same subdivision.

Staff Response: The Project site will be developed into an L-shaped lot, which features a small lot frontage along 4th Street, with a wider section of property to the rear. To accommodate the extended rear area of the yard, the proposed development orientation needs to angle to fit the units and provide for a drive aisle at an angle which will meet fire department access requirements. The alignment of the proposed dwelling unit has been designed to be consistent with the location of the existing residence, but is at an effective setback of 22 feet due to the 3 foot right-of-way dedication required for 4th Street.

Variance Finding 3:

The strict application of the land use district deprives this property of privileges enjoyed by other properties enjoyed by others in the vicinity or in the same land use district.

Staff Response: The proposed Project consists of the multiple-family development Project at the density below the maximum established by the Development Code and General Plan. Other residences along 4th Street, including the existing residence on the subject property, are located in line with the proposed structure, or are even closer to the right of way, such as the residence located at 12975 4th Street.

Variance Finding 4:

The granting of the variance is compatible with the objectives, policies, general land uses and programs specified in the General Plan and any applicable plan.

Staff Response: The proposed Project would permit a multiple-family development, which is conditionally permitted in the RM Land Use District. The proposed Project is otherwise generally consistent with the Development Code requirements and the General Plan.

Architecture:

The applicant has submitted an architectural design package and requests Planning Commission approval of the architecture at this time as required in the Conditions of Approval. Each duplex unit is arranged with two different roof variations, either an open gable roof, or a hip roof, which will alternate within the development. Each unit features covered and recessed front door entries with overhang projections, non-protruding recessed garages, stucco with ledgestone veneer on the front of each unit, and window and door pop-out accents. The sides of the units also include a window with shutters and the ledgestone veneer to add additional detailing. Two different stucco colors have been proposed, and each stucco color would have a corresponding trim color to complement

the stucco color. The design is the same as other recent projects from the applicant, which have been approved and built along 3rd Street and 4th Street, and approved along Avenue H.

Conceptual landscaping is also provided for the Planning Commission’s review, and shows the approximate location of shrubs and turf to be planted onsite. The landscape palette and ultimate planting plan will be reviewed as a Condition of Approval by the City’s Contract Landscape Architect to verify consistency with the City Design Guidelines and ensure that it will best perform in Yucaipa’s climate zone. In addition, the landscape plans are conditioned to be in conformance with the City’s Water Conservation requirements, which will be substantiated during the plan check process

Consistency with the General Plan and Development Code:

The proposed project consists of 16 apartment units on 2.15 net acres. The proposed Project has the following characteristics:

CRITERIA	REQUIREMENTS	COMPLIANCE WITH GENERAL PLAN AND DEVELOPMENT CODE
Density	8.7 dwelling units per acre.	Yes: Overall density is 7.5 dwelling units per acre.
Setbacks	<ul style="list-style-type: none"> • Front Yard Setback (Single Story): 25 Feet • Side Yard Setbacks (Single Story): 10 Feet • Rear Yard Setbacks: 15 Feet 	No¹: <ul style="list-style-type: none"> • Front Yard Setback: <u>22</u> Feet • Side Yard Setbacks: 10 Feet • Rear Yard Setbacks: 15 Feet
Parking	2 enclosed spaces per unit, plus 1 guest space per 2 units.	Yes: 40 spaces are required, and 72 spaces have been provided, including 32 spaces in enclosed garages, 32 in driveways, and 8 spaces within the interior street network.
Open Space	40% of project area to be landscaped.	Yes: Project provides 41% of total site area as private and public open space.
Dwelling Unit Size	Three (3+) bedroom units to have 1,050 square feet minimum living area.	Yes: The three (3) bedroom units provide 1,050 square feet of living area.
Amenities	Required site amenities include entry treatment. Each dwelling is required to provide three (3) interior amenities from approved list.	Yes: Project provides public open space that includes a community feature with recreation area. Each individual unit provides oversized closets, a dishwasher, an automatic garage door opener, decorative doors, and laundry hookups.
Notes: <ul style="list-style-type: none"> • ¹Minor Variance Proposed for Front Yard Setback 		

Except for the reduced front yard setback, the Project meets or exceeds the City’s General Plan and Development Code standards for the above referenced items as well as for access and site design. In addition, the proposed Project supports a number of General Plan policies. These include the following:

- CDL-1.1 Places to Live. Provide sites for a range of housing types, locations, and densities in a variety of neighborhood settings equipped with amenities that support a high quality of life.
- CDL-10.1 Development Review. Implement and adhere to development review procedures and design guidelines in the City of Yucaipa Municipal Code that advance the visual quality of the community.
- CDL-10.5 Private Landscaping and Parks. Require developers to incorporate appropriately sized and drought-tolerant vegetation with sufficient maintenance to provide a mature-looking landscape in three-five years after installation. Require private recreational facilities in new multifamily housing projects.
- CDL-10.9 Building Materials. Use high-quality, natural building materials that evoke a sense of quality and permanence, such as stucco, plaster, stone, and wood; natural colors and textures are preferred.
- HN-2.1 Balanced Housing Stock. Designate adequate land for a broad range of types of housing, including single-family attached and detached, multiple-family housing, and mixed uses located in accordance with the land use and community design element.

Processing and Procedural Actions:

Notices of the Project were sent to all surrounding property owners within a 300-foot radius of the project site and several responses were received for the Project. The comments relate to the following topics:

Block Wall: One letter requested that an 8-foot block wall be provided. The maximum permitted height for a fence or wall along property lines within the side and rear setback areas is 6 feet unless a variance is approved. However, a 6-foot block wall is proposed and will provide privacy consistent with other residential properties throughout the City.

Water: Water service in the area is provided by the Yucaipa Valley Water District, and a Preliminary Service Evaluation letter was provided with the Project application noting that the District will be able to serve the Project.

Wildlife: The subject area is not designated by the General Plan as a wildlife corridor, and is completely surrounded by urban development.

Fire risk: The subject site is not located within the City’s Fire Safety Overlay. Standard Conditions of Approval from the Fire Department apply to ensure that the Project meets the California Fire Code.

Flood risk: The Project site is not located within a drainage course, a designated floodway, or the 100- and 500-year floodplain based upon a review of the latest FEMA Flood Insurance Rate Map (FIRM) Map or the General Plan Safety Element.

Traffic: The traffic generated by the Project to area streets is consistent with the capacity and design of the surrounding roadways, as these roadways and ultimate design was evaluated as part of the City's General Plan. The Project area is permitted to have a residential land use density of 8.7 units per acre, and the Project applicant is required to complete the necessary improvements along its street frontage consistent with the requirements of the General Plan. Additionally, the proposed Project is conditioned to pay development impact fees for traffic facilities among other impact fees. These fees are the City's equivalent of the "fair share" contribution to a local fund to upgrade the area's transportation infrastructure necessary to accommodate the infrastructure improvements as the City approaches build-out conditions.

Gated community: No gates at the entrance of the site are proposed nor required.

Multiple Family Development: One comment letter asks if the City would permit other multiple family development in the area. The properties that surround the site are currently designated RM-72C, and pursuant to the General Plan and state law regarding housing project review and approvals, including the Housing Accountability Act, other multifamily or single-family development that are designed consistent with the City's General Plan and Development Code could be approved in the future.

Environmental Review:

The Project site is within a developed portion of the City. Pursuant to Section 15332 of the CEQA Guidelines, this project qualifies for a Class 32 Categorical Exemption. This exemption applies to the proposed Project because it is characterized as in-fill development that is considered to be consistent with the general plan policies and zoning regulations for the RM Land Use District, and is located on a site that is less than five acres that is substantially surrounded by urban uses that has no value as habitat for endangered, rare or threatened species. In addition, the approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality, and the site can be adequately served by all required utilities and public services. In addition, Section 15305 would also be relevant as the variance application consists of a minor alteration in land use limitations that do not change the potential environmental impacts for the site. The Minor Variance would permit a front yard setback for one of the new proposed structures that is the same as the setback for the existing residence located onsite.

CONCLUSION:

The proposed Conditional Use Permit is generally consistent with the RM-10M Official Land Use District and the General Plan and Development Code standards for the District, with the exception of the front yard setback. The project meets standards for access, lot size and dimension, and site design, and a variance has been submitted for the substandard setback. The required findings for approval of the Conditional Use Permit, Tentative Parcel Map and Variance have been made and are attached.

FISCAL IMPACT:

Based on a net total number of 16 residential units on 2.15 acres, the project can be expected to generate **\$247,855.38** in Development Impact Fees, using the current fee schedule, as follows:

Drainage Facilities:	\$28,846.74
Traffic Facilities:	\$137,652.64
Public Facilities:	\$22,583.04
Fire Facilities:	\$12,798.24
Park Facilities:	<u>\$45,974.72</u>
TOTAL:	\$247,855.38

- Attachments:
- Conditional Use Permit Findings
 - Tentative Parcel Map (TPM No. 20221) Findings
 - Variance Findings
 - Land Use District & Location Map
 - Site photos
 - Conditions of Approval
 - Applicant Letter of Justification
 - Comment Letters
 - Project Plans

Approved by:



Benjamin J. Matlock, Planning Manager/City Planner
Development Services Department

FINDINGS: CONDITIONAL USE PERMIT NO. 19-074

1. The proposed project will not have a significant impact on the environment as the Project is characterized as in-fill development that is considered to be consistent with the general plan policies and zoning regulations for the Multiple Residential (RM-72C) Land Use District, and therefore qualifies under the Class 32 Categorical Exemption pursuant to the California Environmental Quality Act. The Minor Variance would qualify under Class 5 Categorical Exemption pursuant to the California Environmental Quality Act, which permits minor modifications to land use limitations, such as setbacks, that do not create an environmental impact.
2. The site for the proposed use is adequate in size and shape to accommodate the proposed use and all yards, open spaces, walls and fences, parking areas, landscaping, and other features pertaining to the application, because the site is large enough and the design is configured to accommodate the proposed project and accompanying features. A minor variance for a reduced setback is proposed for the Project.
3. The site for the proposed use has adequate access because the site provides an internal roadway network utilizing access provided on 4th Street and has been designed to meet applicable City standards.
4. The proposed use will not have a substantial adverse effect on abutting property or the permitted use thereof, meaning that the use will not generate excessive noise, vibration, traffic, or other disturbances, because: 1) The project design and conditions of approval have addressed these concerns; 2) Improvements will be conditioned to occur prior to completion of the site development; 3) The buildings are proposed to be setback from the property line a minimum of 10-feet; 4) A concrete block wall is proposed along the perimeter of the property; 5) Adequate internal circulation is available and/or required for Fire Department access and adequate parking for residences and visitors is available; 6) Adequate on-site retention of storm water run-off will occur. In addition, the use will not substantially interfere with the present or future ability to use solar energy systems because the height of the proposed buildings will not substantially hinder the use of such devices on surrounding properties.
5. The proposed use is consistent with the goals, policies, standards, and maps of the General Plan and any applicable plan, because the proposed use is permitted in the RM-72C Land Use District, subject to the provisions of this Conditional Use Permit, per Yucaipa Development Code Section 84.0330(b)(1).
6. The lawful conditions stated in the approval are deemed necessary to protect the public health, safety, and general welfare, because they ensure adequate circulation, drainage, and compatibility with surrounding land uses.
7. The design of the site has considered the potential for the use of solar energy systems and passive or natural heating and cooling opportunities, because there are no obstructions to the collection of solar energy or the natural movement of wind toward or around surrounding properties.

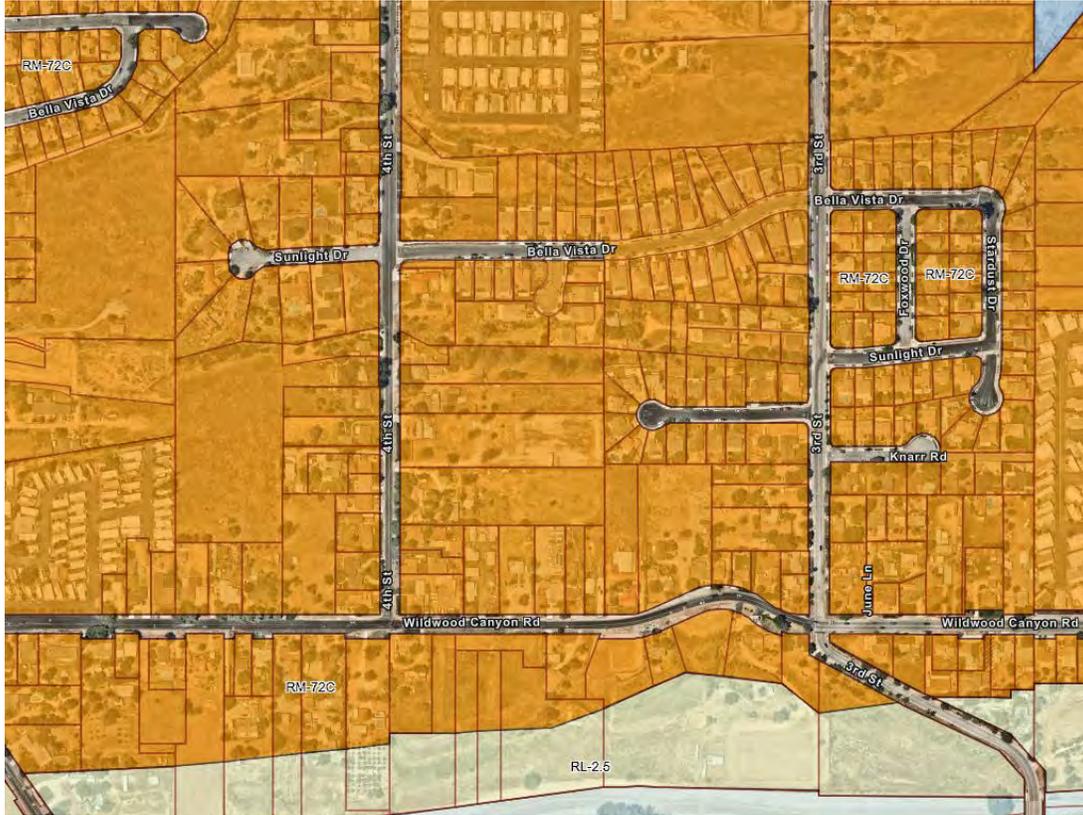
FINDINGS: TENTATIVE PARCEL MAP No. 20221

1. The proposed subdivision, together with the provisions for its design and improvements, is consistent with the General Plan and any applicable specific plan, because the proposed use and overall density is permitted in the Multiple Residential (RM-72C) Land Use District, and the Conditions of Approval address the provision of public services and improvements.
2. The site is physically suitable for the proposed type and density of development, because the physical constraints that may exist on site have been recognized and mitigated through the Conditions of Approval including access, circulation, drainage, and grading.
3. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage and substantially or avoidably injure fish or wildlife or their habitat, and will not have a significant impact on the environment as the Project is characterized as in-fill development that is considered to be consistent with the general plan policies and zoning regulations for the Multiple Residential (RM-72C) Land Use District, and therefore qualifies under the Class 32 Categorical Exemption pursuant to the California Environmental Quality Act. The Minor Variance would qualify under Class 5 Categorical Exemption pursuant to the California Environmental Quality Act, which permits minor modifications to land use limitations, such as setbacks, that do not create an environmental impact.
4. The design of the proposed subdivision and any related types or proposed improvements are not likely to cause serious public safety and health problems because conditions are included to assure compliance with all City health and safety standards.
5. The design of the proposed subdivision or the type of improvements will not conflict with public easements within or through the site because conditions have been included to ensure non-interference with any existing public easements.
6. The design of the subdivision provides for the extent feasible, passive or natural heating and cooling opportunities, because the project provides an opportunity for the use of solar energy.
7. The proposed subdivision, its design, density, and type of development and improvements conforms to the regulations of the Development Code and the regulations of any public agency having jurisdiction by law, because all development standards meet or exceed those that are specified in City Development Code, and all public agencies that may be affected by this development have had their concerns addressed by the Conditions of Approval.
8. The proposed subdivision is not deemed to be a land project as defined by the Yucaipa Development Code, Section 812.12030.

FINDINGS: VARIANCE NO. 19-074/MNV

1. The granting of this variance will not be materially detrimental to other properties or land uses in the area because the proposed Project would only result in the reduction of the front yard setback along 4th Street for the most westerly building that is proposed. However, the setback of 22 feet would be consistent with the location of the existing residence located onsite, and would not result in a greater projection towards the roadway than the existing condition. Maintaining the 22-foot setback between the newly proposed single-story building from the adjoining properties is not expected to be materially detrimental to other properties or land uses in the area. In addition, the single-story height of the buildings would not interfere with any future neighboring solar arrays nor would it cast shadows or otherwise interfere with current or future solar facilities.
2. There are exceptional or extraordinary circumstances or conditions applicable to the property or to the intended use that do not apply to other properties within the same district or vicinity because the Project site will be developed into an L-shaped lot, which features a small lot frontage along 4th Street, with a wider section of property to the rear. To accommodate the extended rear area of the yard, the proposed development orientation needs to angle to fit the units and provide for a drive aisle at an angle which will meet fire department access requirements. The alignment of the proposed dwelling unit has been designed to be consistent with the location of the existing residence, but is at an effective setback of 22 feet due to the 3 foot right-of-way dedication required for 4th Street.
3. The strict application of the land use district deprives such property of privileges enjoyed by other properties in the vicinity or in the same land use district because the proposed Project consists of the multiple-family development Project at the density below the maximum established by the Development Code and General Plan. Other residences along 4th Street, including the existing residence on the subject property, are located in line with the proposed structure, or are even closer to the right of way, such as the residence located at 12975 4th Street.
4. The granting of the variance is compatible with the objectives, policies, general land uses and programs specified in the City's General Plan and Development Code, in that the Project would permit a multiple-family development, which is conditionally permitted in the RM Land Use District. The proposed Project is otherwise generally consistent with the Development Code requirements and the General Plan.

LAND USE: MULTIPLE RESIDENTIAL (RM-72C)



LOCATION







CONDITIONAL USE PERMIT

ON-GOING CONDITIONS/GENERAL REQUIREMENTS:

PLANNING DIVISION (909) 797-2489 EXT. 224

1. This Conditional Use Permit to permit a sixteen (16) unit multiple family Project consisting of seven (7) duplex units and two (2) individual units, with a Minor Variance to permit a front yard setback of 22 feet in lieu of 25 feet, and a Tentative Parcel Map (TPM No. 20221) to subdivide the Project from an existing single family residence located at 13009 4th Street; APN: 0319-161-24. Any alteration or expansion of these facilities, or increase in the developed area of the site from that shown on the approved site plan, may require the submission of a new application or an additional application for Revisions for review and approval.
2. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claim, action or proceeding attacking or seeking to set aside, void or annul the approval of all or part of the matters applied for, or any other claim, action or proceeding relating to or arising out of such approval. This obligation includes the obligation to reimburse the City, its agents, officers and employees for any court costs or attorney fees which the City, its agents, officers, or employees are required by a court to pay as a result of such claim, action or proceeding. The City agrees to notify the applicant of any such claim, action or proceeding promptly after the City becomes aware of it. The City may participate in the defense of the claim, action or proceeding, but such participation will not relieve the applicant of applicant's defense and indemnification obligations, including City expenses.
3. This Conditional Use Permit shall become null and void if all conditions have not been complied with and the occupancy or use of the land has not taken place within three (3) years of the date of approval. One extension of time, not to exceed three (3) years, may be granted upon written request and submittal of the appropriate fee not less than 30 days prior to the date of expiration. **PLEASE NOTE:** this will be the only notice given for the above specified expiration date. **The applicant is responsible for the initiation of an extension request.**
4. A Categorical Exemption is being issued for this project, pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended. The applicant/owner shall deliver a \$50.00 administrative handling fee to the Planning Division within five (5) days after the effective date of conditional approval. **Payments shall be made with a Check, Money Order or Cashier's Check for \$50.00 made payable to the "Clerk of the Board"**. The Planning Division shall then file the Notice of Exemption with the Clerk. Proof of fee payment will be required prior to issuance of building permit.

5. All conditions of this Conditional Use Permit are continuing conditions. Failure of the applicant and/or operator to comply with any or all of said conditions at any time may result in the revocation of the permit granted to use the property.
6. The applicant/owner shall always maintain in good condition all permanent plantings as identified on the approved landscape plan.
7. All new utility lines shall be placed underground.
8. Mail delivery shall be by neighborhood boxes or other delivery as approved by the U.S. Postal Service.
9. All signs proposed by this project may only be lit by steady, stationary, shielded light directed at the sign, by light inside the sign, by direct stationary neon lighting or by an alternating lighting system that changes no more than once per hour. The glare from the luminous source shall not exceed one-half (0.5) foot candle.
10. Parking and on-site circulation requirements shall always be maintained.
 - A. All markings to include parking spaces, directional designations, “No Parking” designations, and “Fire Lane” designations shall be clearly defined and said markings shall be maintained in good condition at all times.
 - B. Parking and site circulation surfaces (City Road Specification #39) shall be maintained in good condition at all times.
11. Noise levels shall not exceed City Standards as required by Development Code Section 87.0905(b).
12. All refuse generated at the premises shall at all times be stored in approved containers and shall be placed in a manner so that visual and public health nuisances are minimized.
13. All refuse containing garbage shall be removed from the premises at least two times per week in conformance with Municipal Code Section 8.24.030(B).
14. The applicant shall implement the approved “Solid Waste Recycling Plan” for any new commercial, industrial, or institutional uses located on the property. The developer and all occupants of the property shall make a good faith effort to fully comply with each component of the approved Plan. Any proposed revision to this Plan shall be subject to the review and approval of Yucaipa Disposal, Inc. (909) 797-9125.
15. The project site shall remain in full compliance with all City Sign Regulations at all times.

16. The applicant/property owner shall be required to apply an anti-graffiti coating, and/or provide a landscape design of a type and nature that is acceptable to the City Planner, to each of the publicly viewable surfaces deemed by the City Planner to be likely to attract graffiti.
17. The applicant/property owner, and any and all successors in interest, shall for ten (10) years after the issuance of a Certificate of Occupancy, provide the City with sufficient matching paint and/or anti-graffiti coating on demand for use in the painting over or removal of graffiti from any designated graffiti attracting surfaces.

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

18. This project is protected by the Yucaipa Fire Department/California Department of Forestry and Fire Protection. Prior to any construction occurring on any parcel, the applicant shall contact the Fire Marshall for verification of current fire protection development requirements. All new construction shall comply with the adopted Uniform Fire Code and all applicable statutes, codes, ordinances, standards and policies of the Yucaipa Fire Department/CDF.
19. Fire Department access roads and/or public/private streets shall meet the Fire Department minimum width standard of twenty-four (24) feet. Access roads shall be paved (asphalt/concrete) and in place prior to placement of combustible material on site. Fire Department minimum paving thickness shall be no less than four (4) inches. This standard shall not lessen other agency requirements.
20. Fire Department access roads and/or public/private streets and residential driveways shall have a minimum vertical clearance of thirteen (13) feet and six (6) inches.
21. Required fire flow for this project, as determined by I.S.O. Formula, is as follows: gpm = 1,500, at 20 psi residual; for 2 hour duration. System shall be looped with minimum eight (8) inch mains; six (6) inch laterals; six (6) inch risers; six (6) inch diameter hydrants with one 2 ½" outlet and one 4" outlet.
22. Approved fire hydrants capable of supplying required fire flow shall be provided to all premises upon which facilities, buildings or portions of buildings are constructed or moved within the jurisdiction. When any portion of the facility or building protected is in excess of 400 feet from a fire hydrant on a public street, as measured by an approved route around the exterior of the facility or building, additional fire hydrants meeting the required fire flow shall be provided.
23. Fire hydrants shall be installed at locations to be determined by the California Fire Code (2019) Appendix "C". Required fire flow to be determined by the California Fire Code (2019) Appendix "B". Minimum fire flow shall not be less than 1500 gpm.

ENGINEERING DIVISION (909) 797-2489 EXT. 228

24. Submit WQMP Plan for Approval.
25. The natural drainage courses traversing the site shall not be occupied or obstructed.
26. Applicant shall demonstrate that the site does not create concentrated discharges to adjacent properties and/or public right-of-way in excess of historical flows. If project does create concentrated or sheet flows off-site that are greater than historical, the applicant shall demonstrate that the downstream facilities can accommodate flows; otherwise, applicant shall provide on-site detention for excess flows in accordance with the approved WQMP.
27. Adequate provisions shall be made to intercept and conduct the tributary drainage flows around or through the site in a manner which will not adversely affect adjacent or downstream properties at the time the site is developed.
28. Road sections within and/or bordering the project shall be designed and constructed with curbs, gutters, and sidewalks to City Road Standards, and in accordance with the General Plan Circulation Element.
29. Final improvement plans and profiles shall indicate the location of any existing utility facility which would affect construction. Existing utility poles shall be shown on the improvement plans and relocated as necessary without cost to the City.
30. Continuous water spraying or other approved methods must be used during grading operations to control fugitive dust.

THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A GRADING PERMIT:

BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 225

31. The site shall be developed in compliance with all current model codes in effect at the time of building permit submittal. All plans shall be designed in compliance with the latest editions of the California Building Codes as adopted by the City of Yucaipa.
32. Separate submittals and permits are required for all accessory structures such as but not limited to, trash enclosures, patios, block walls and storage buildings.
33. Pursuant to California Business and Professions Code Section 6737, this project is required to be designed by a California licensed architect or engineer. Based on change of use and potential exiting and fire life safety improvements.

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34. Applicant shall submit a Notice of Intent and comply with the requirements of the General Construction Activity Storm Water Permit from the State Water Resources Control Board if the project site is 1 acre or greater. In addition, the Storm Water Pollution Prevention Plan (SWPPP) is required to be submitted to the City Engineer for review and approval.
35. Prior to the alteration of any wetland habitats, the required permits or authorized clearance shall be obtained from the Department of Fish and Game in accordance with the Section 1600 et. seq. of the State Fish and Game Code, from the United States Army Corps of Engineers in accordance with Section 404 of the Clean Water Act, and from the California Regional Water Quality Control Board Santa Ana Region in accordance with Section 401 of the Clean Water Act.
36. Groundwater pollution from urban run-off water generated by the project shall be mitigated using various structural and non-structural best management practices (BMPs), per the requirements of the California Regional Water Quality Control Board, Santa Ana Region and/or as indicated in the “New Development/Redevelopment Guidelines.” All provisions of the Water Quality Management Plan (WQMP) consistent with the 2010 MS4 permit and most recent regulatory mandates shall be met, including but not limited to approval of a Preliminary WQMP.
37. The applicant shall provide documentation indicating that the WQMP, grading plan, erosion control plan and landscape plan are consistent with each other. The documentation shall indicate that each document has been reviewed by the applicant for consistency.
38. The applicant’s plans indicate approximately 45% of the site to be improved with impervious surfaces. Design features shall be included to direct storm water run-off flows into landscaped pervious areas before any run-off flows into public rights-of-way.
39. In addition to the drainage, traffic related, or other requirements stated herein, other “on-site” or “off-site” improvements may be required which cannot be determined from tentative plans at this time and would have to be reviewed after more complete improvement plans and profiles have been submitted to the City Engineer.
40. A thorough evaluation of the structural road section, to include parkway improvements, from a qualified materials engineer, shall be submitted to the Engineering Division.
41. Existing City roads which will require reconstruction shall remain open for traffic at all times, with adequate detours, during actual construction. A cash deposit

may be required to cover the cost of grading and paving. Upon completion of the grading and paving to the satisfaction of the Engineering Division, the cash deposit will be refunded.

42. Prior to signing of the improvement plans, any proposed grading within the road right-of-way shall be done under the direction of a Soils Testing Engineer, hired by the applicant. Compaction tests of embankment construction, trench backfill, and all subgrades shall be performed at no cost to the City. Prior to placement of any base materials, and/or paving, a written report shall be submitted by the applicant's engineer to the City Engineer for review and approval.
43. A topographic map shall be provided to facilitate the design and review of necessary drainage facilities at the time the site is developed.
44. Additional 3 foot dedication is required to provide for a 33 foot half-width right-of-way. A copy of the Grant Deed for all properties affected by this requirement must be submitted to the City Engineer prior to document preparation.
45. 4th Street shall be designed as a water-carrying street and its water carrying capacity shall be maintained.
46. Three (3) copies of the grading plan shall be submitted to the Building and Safety Division for review and approval. A copy of the grading plan shall be submitted to the Planning Division when graded slopes exceed five (5) feet in height. All on-site cut and fill slopes shall:
 - A. Be a part of the downhill lot when between individual lots, or as approved by the City Planner and City Engineer.
 - B. Incorporate recommendations of the approved geology and soils reports.
 - C. Be contour graded to blend with existing natural contours.
 - D. Be limited to a maximum slope ratio of two-to-one (2:1) and a maximum vertical height of thirty (30) feet. Setbacks from the top and bottoms of slopes shall be a minimum of one-half (1/2) the slope height or per CBC.
 - E. Preclude damage to the site and downstream properties during heavy storm run-off, especially during the construction stage by including a stringent slope, erosion, and sediment control program on the proposed grading plan. Any such damage allowed to occur will be the responsibility of the applicant.
 - F. Provide letters of consent from adjacent property owners for proposed offsite grading.

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47. Grading permits shall not be issued for any areas to be graded and remain undeveloped until a revegetation plan is approved by the Planning Division, and until bonds are posted for revegetation.
48. Prior to grading, arrangements acceptable to the County Museum shall be made to have present during grading a qualified vertebrate paleontologist to monitor in the event paleontologic resources are encountered during rough grading. The monitor shall have the authority to temporarily suspend grading operations in the vicinity of such resources until they have been evaluated and appropriate data recovery measures implemented. The results of the monitoring shall be documented in writing and submitted to the County Museum for review prior to issuance of building permits. For more information, contact the County Museum at 909-307-2669.
49. No archaeological work is required; however, if prehistoric or historic artifacts over 50 years of age are encountered during land modification, then activities in the immediate area of the finds shall be halted and an on-site inspection performed by a qualified archaeologist, to assess the find, determine its significance, and make recommendations for appropriate mitigation measures. For more information, contact the County Museum at 909-307-2669. If human remains are encountered on the property, then the San Bernardino County Coroner's Office MUST be contacted within 24 hours of the find, and all work halted until a clearance is given by that office and any other involved agencies. Contact the County Coroner at 175 South Lena Road, San Bernardino, CA 92415-0037 or (909) 387-2543.

THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A BUILDING PERMIT:

BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 225

50. The site shall be developed in compliance with all current model codes in effect at the time of building permit submittal. All plans shall be designed in compliance with the latest editions of the California Building Codes as adopted by the City of Yucaipa.
51. Separate submittals and permits are required for all accessory structures such as but not limited to, trash enclosures, patios, block walls and storage buildings.
52. Pursuant to California Business and Professions Code Section 6737, this project is required to be designed by a California licensed architect or engineer. Based on change of use and potential exiting and fire life safety improvements.

53. Three copies of a Landscape Documentation Package shall be submitted for Building & Safety Division review and approval. Said Landscape Documentation Package shall be consistent with the requirements of Chapter 4, of Division 10, of the Development Code and include all of the following elements:

A. Project Information

- (1) Date
- (2) Project Applicant
- (3) Project Address (if available, parcel and/or lot number(s))
- (4) Total Landscape Area (square feet)
- (5) Project Type (e.g., new, rehabilitated, public, private, cemetery, homeowner-installed)
- (6) Water Supply Type (e.g., potable, recycled, well) and identify the local retail water purveyor if the applicant is not served by a private well
- (7) Checklist of All Documents in Landscape Documentation Package
- (8) Project Contacts (to include contact information for the project applicant and property owner)
- (9) Applicant Signature and Date (with statement, "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package").

(B) Water Efficient Landscape Worksheet

- (1) Hydrozone Information Table
- (2) Water Budget Calculations
 - (I) Maximum Applied Water Allowance (MAWA)
 - (II) Estimated Total Water Use (ETWU)

(C) Soil Management Report

(D) Landscape Design Plan

- (E) Irrigation Design Plan
- (F) Grading Design Plan
- (G) Certification of Substantial Completion (to be submitted after installation of the project).

A copy of the approved Landscape Documentation Package shall be provided to the property owner or site manager along with the record drawings and any other information normally forwarded to the property owner or site manager. A copy of the Water Conservation Concept Statement and the Certificate of Substantial Completion shall be sent by the project manager to the local retail water purveyor.

54. Three (3) copies of a landscape and irrigation plan prepared by a Registered Landscape Architect for the planting (drought tolerant landscaping shall be utilized to minimize water consumption) and permanent irrigation system for the development, including setback areas and parkways, shall be submitted to the Building & Safety Division for review and approval. Said plans must be consistent with the City of Yucaipa Landscape Design and Installation Guidelines and include the following details:
- A. Voltage boxes, mailboxes, trash enclosures, maintenance structures, backflow devices, automatic controls, air conditioning/heating units, etc., to be shown on the plan and screened with landscaping and/or decorative fencing/trim.
 - B. A permanent automatically-controlled irrigation system.
 - C. Landscaping shall consist of drought tolerant vegetation appropriate to the local climate. Trees, shrubs and ground covers in the following quantities shall be required as follows:
 - 1. Tree planting (15 gallon size):
 - a. 1 for each 600 sq. ft. of total landscaped area (one required, minimum);
 - b. 80% of total trees required to be 15 gallon;
 - c. 1 for every 12 parking stalls;
 - 2. 24 to 96 inch box trees:
 - a. 20% of total trees required (one required, minimum).
 - 3. Tree Spacing/location:

- a. small trees: 20 feet O.C. max.;
 - b. large trees: 30 feet O.C. max.;
 - c. street trees: 15 gal. min./30 feet O.C. max.;
 - d. min. 6 feet from curbs, paving and sidewalks; trees in parkway between sidewalk and curb shall be provided with a linear root barrier.
4. 5 gallon shrubs:
 - a. 60% of total shrubs required to be 5 gallon;
 - b. 10 for each 300 sq. ft. of landscaped area.
5. 1 gallon shrubs:
 - a. 40% of total shrubs required.
6. Ground Cover:
 - a. Drought tolerant adapted when mature, or native;
 - b. Maximum spacing: 12 inches O.C., or as suitable for planting material;
 - c. Hydroseeding (establish recommended mixture); specify weight or volume per unit area.
- D. Parking/vehicular circulation areas screened with landscaped berms adjacent to streets.
- E. Landscape detail of trash enclosures, to be located within 200 ft. of building pad.
- F. All walls and fences shall be shown, at the top of slope (if applicable), with the style, design, materials, and colors indicated.
- G. Design features to direct storm water run-off into landscaped pervious areas to achieve percolation into the ground before run-off flows reach the public right-of-way of 4th Street.
- H. Detector-check valve assembly screening and camouflage, which shall include landscaped berms and/or depressions, shrub screening, and the painting of the equipment to match the landscaping. The height of the equipment shall not exceed the minimum ground clearance established by the applicable code. It is not permitted to be located within the front yard building setback area, unless otherwise approved by City Inspector.

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55. Submit engineered road improvement plans to the City Engineer.
56. The WQMP shall be approved and the developer shall provide a financial mechanism for the maintenance of the detention basins which shall be set in place and approved by the City Engineer. The WQMP maintenance agreement shall be executed and recorded by the applicant.

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57. The enrollment of the Yucaipa Joint Unified School District is severely impacted by new development. To mitigate the impact of this project, developer shall pay such taxes as are required by the Yucaipa Joint Unified School District Community Facilities District No. 1, and any other fees assessed by Government Code Section 53080, and 65995-65997.
58. The City of Yucaipa has implemented development impact fees for various infrastructure and capital facilities needs generated by new development. These fees will provide for various capital facilities including, but not limited to, roads, parks, flood control and drainage, public facilities, and fire fighting facilities. This project shall be subject to all such development impact fees which are in effect at the time building permits are issued.
59. The applicant/owner shall process a Condition Compliance Review through the City for verification of conditions prior to the issuance of building permits.
60. Water and sewer service shall be by Yucaipa Valley Water District. The Yucaipa Valley Water District letter dated May 24, 2019 is included as a Condition of Approval. Submit evidence of service to Building and Safety at time of Condition Compliance review.
61. Verification of application for sign registration and plot plan approval by the Planning Division must be submitted prior to the issuance of a building permit for the installation, wiring, remodeling or reconstruction of any sign or portion thereof which requires a building permit.
62. The applicant shall submit a "Solid Waste Recycling Plan" for review and approval. This Plan shall address two (2) principal recycling programs: 1) the recycling of construction waste/debris during the demolition and/or development phase of the project, and 2) the recycling of the solid waste that is generated daily by each proposed use during the operational phase of the project. The construction waste component shall include: complete information on the individual or firm that will be responsible for implementing the recycling plan; complete information on all proposed recycling facilities that will receive waste products; and estimates of the volume or weight of each type of material that will be recycled. The operational waste component shall include: complete

information on the location, access, sizes, and numbers of solid waste and recycling bins needed to serve each proposed use that is located within the project. For information on the types of waste disposal services that are available, you may contact Yucaipa Disposal, Inc. at (909) 797-9125 for assistance.

63. Proof of fee payment of Fish and Game fees and/or County Administrative handling fees pursuant to California State Assembly Bill 3158 shall be submitted.
64. Provide detailed building elevations including materials, finishes, colors, and signage for all buildings for Planning Division review and approval prior to issuance of building permits. Building elevations shall be consistent with those approved by the Planning Commission.
65. The applicant/property owner shall grant to the City, in writing, the irrevocable right of entry over, and access to, such property, upon twenty-four (24) hours' posted notice, by authorized City employees or agents, for the purpose of removing or painting over graffiti on any designated graffiti attracting surfaces.
66. Project will comply with Chapter 2, Multiple Residential Design Standards, of the Development Code.

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

67. Two sets of water delivery system plans, designed to meet the required fire flow for this project and/or development shall be submitted to the Fire Department for approval.
68. Applicant-developer shall provide the Fire Department with a letter from the water company serving the project-development, verifying that financial arrangements have been made and bonds posted for the required Fire Department approved water improvements.
69. A fuel break of one hundred (100) feet (brush and weed clearance) is required prior to construction. The clearance shall be maintained on a year-round basis.
70. Fire hydrants shall be installed and operational as per approved water system delivery plans prior to any framing, construction, or delivery of combustible materials to project site.

SUBJECT PROPERTY SHALL NOT BE OCCUPIED AND/OR USED FOR PURPOSES APPLIED FOR UNTIL THE FOLLOWING CONDITIONS HAVE BEEN MET:

BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 225

71. The site shall be developed in compliance with all current model codes in effect at the time of building permit submittal. All plans shall be designed in compliance with the latest editions of the California Building Codes as adopted by the City of Yucaipa.
72. Separate submittals and permits are required for all accessory structures such as but not limited to, trash enclosures, patios, block walls and storage buildings.
73. Pursuant to California Business and Professions Code Section 6737, this project is required to be designed by a California licensed architect or engineer. Based on change of use and potential exiting and fire life safety improvements.

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74. Residential driveways shall be paved (asphalt/concrete) and shall have a minimum width of twelve (12) feet. Driveways of this standard shall serve no more than two single family dwellings and shall not exceed 12% in grade.
75. Fire Department access roadways and/or public/private streets exceeding one hundred fifty (150) feet in length shall have a Fire Department approved turn-around at the terminus (cul-de-sac). Minimum radius shall be not less than 40 feet.
76. Driveways exceeding 150 feet shall have a Fire Department approved turn-around at the terminus (hammer-head tee).
77. Fire Department access roadways and/or public/private streets and driveways shall extend to within one hundred fifty (150) feet of and shall give reasonable access to all portions of the exterior walls of the first story of any building. An access road, approved by the Fire Department, shall be provided to within fifty (50) feet of all structures when the natural grade between access road and structure is in excess of 30%. Where an approved access road cannot be provided, a fire protection system shall be required and approved by the Fire Department.
78. Address numbers shall be placed on all new and existing commercial and multi-family residential structures in such a manner as to be plainly visible and legible from the access roadway or street. Structures shall have numbers of 8" height, 3/8" stroke on contrasting background. Address numbers shall be illuminated so as to be visible and legible from access roadway or street. Industrial

- occupancies shall have address numbers of 12" height, ½" stroke and shall be illuminated so as to be visible and legible from access roadway or street. Where structure setback exceeds one hundred (100) feet from the access roadway or street, additional non-illuminated numbers are 6" in height, 3/8" stroke, on contrasting background shall be displayed at property access entrance.
79. "No Parking - Fire Lane" signs shall be posted at locations designated by Fire Marshall. Fire lane curbs shall be painted red with white letters stating "No Parking – Fire Lane".
 80. On site fire hydrants capable of supplying required fire flow shall be installed at locations identified by the Fire Marshall. System shall be looped with minimum eight (8) inch mains; six (6) inch laterals; six (6) inch risers; six (6) inch diameter hydrants with one 2 ½" outlet and one 4" outlet.
 81. Approved fire hydrant pavement markers shall be installed.
 82. Automatic fire sprinklers shall be installed according to NFPA 13 and Fire Department requirements. Submit three (3) sets of shop plans with material cut sheets and hydraulic calculations, indicating the type of occupancy, type of materials to be stored (if any), for Fire Department review and approval prior to any installation. Submit copy of California C-16 license.
 83. Automatic fire sprinkler control devices (P.I.V. & O.S.&Y.) shall be visible from Fire Department access roadway, and identify system being controlled and address of structure. Fire Department Connection (FDC) shall be located no closer than fifty (50) feet and not to exceed one hundred fifty (150) feet from structure. Required fire hydrant shall have a maximum distance from FDC of thirty (30) feet. FDC shall identify address and system of structure being protected.
 84. Smoke detectors, hard wired with battery back-up, shall be installed in all sleeping areas and in all hallways leading to sleeping areas. Smoke detectors shall be installed at the top of all stairways.
 85. Carbon Monoxide detectors shall be installed pursuant to manufacture specifications.
 86. High Fire Hazard Areas FR-1 & FR-2: one-hour fire resistive construction is required for exterior walls. Contact Fire Marshall or City Building Official for more information.
 87. The main electrical panel and all sub-panels shall be labeled on inside cover for all circuits.
 88. Water heater (fuel fired) shall be properly vented to exterior of structure. Water heater shall be seismic strapped to wall and be located 18" above a garage floor.

89. A one-hour fire rated, solid core, self closing door shall be installed between an attached garage and living space.

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90. Construct curb and gutter (with match-up paving) 22 feet from centerline.
91. Construct sidewalk adjacent to site with landscaped parkway.
92. Construct driveway approach/entrance. Commercial driveways require radius type approaches.
93. Developer shall be required to place construction traffic control in public right-of-way during the construction of off-site improvements. Traffic control devices shall be maintained 24 hours a day 7 days a week as directed by the City Engineer.
94. The Applicant shall submit the signed original Water Quality Management Plan (WQMP) Certification form to verify consistency of the BPMs shown on the as-built grading plans and landscape plans. In case of inconsistency, the Applicant shall revise the WQMP to match the as-built plans.

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95. Parking and on-site circulation requirements shall be provided for as identified on the approved site plan.
96. All access drives and parking areas shall be surfaced with a minimum of 2 inches of asphalt concrete surfacing, City Road Specification No. 39, which shall be appropriately striped to accommodate safe vehicular circulation.
97. All access drives shall be a minimum of 24 feet wide to facilitate two-way traffic.
98. Any lights used to illuminate the site shall be hooded and designed so as to reflect away from adjoining properties and public thoroughfares.
99. All landscaping and irrigation shown on the approved landscape and irrigation plans and all required walls shall be completed. Trees in the parkway between sidewalk and curb/gutter shall be provided with a linear root barrier. Provide the City with a Certificate of Substantial Completion from the certified professional that prepared the approved landscape and irrigation plans.
100. All roof top mechanical equipment is to be screened from ground vistas.

TENTATIVE PARCEL MAP

ON-GOING CONDITIONS/GENERAL REQUIREMENTS:

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1. Water and sewer service shall be by Yucaipa Valley Water District. The Yucaipa Valley Water District letter dated May 24, 2019 is included as a Condition of Approval. Submit evidence of service to Building and Safety at time of Condition Compliance review.
2. All new utility lines shall be placed underground.
3. Mail delivery shall be by neighborhood boxes or other delivery as approved by the U.S. Postal Service.
4. The applicant shall defend, indemnify and hold harmless the City, its agents, officers and employees from any claim, action or proceeding attacking or seeking to set aside, void or annul the approval of all or part of the matters applied for, or any other claim, action or proceeding relating to or arising out of such approval. This obligation includes the obligation to reimburse the City, its agents, officers and employees for any court costs or attorney fees which the City, its agents, officers, or employees are required by a court to pay as a result of such claim, action or proceeding. The City agrees to notify the applicant of any such claim, action or proceeding promptly after the City becomes aware of it. The City may participate in the defense of the claim, action or proceeding, but such participation will not relieve the applicant of applicant's defense and indemnification obligations, including City expenses.
5. A Categorical Exemption is being issued for this project, pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended. The applicant/owner shall deliver a \$50.00 administrative handling fee to the Planning Division within five (5) days after the effective date of conditional approval. **Payments shall be made with a Check, Money Order or Cashier's Check for \$50.00 made payable to the "Clerk of the Board"**. The Planning Division shall then file the Notice of Exemption with the Clerk. Proof of fee payment will be required prior to issuance of building permit.
6. Developers of residential development projects greater than a single dwelling unit shall attempt to ensure that at least 25% of the total cost of the project will be spent with Yucaipa businesses and/or the hiring of Yucaipa residents.

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

7. This project is protected by the Yucaipa Fire Department/California Department of Forestry and Fire Protection. Prior to any construction occurring on any parcel, the applicant shall contact the Fire Marshall for verification of current fire protection development requirements. All new construction shall comply with the adopted Uniform Fire Code and all applicable statutes, codes, ordinances, standards and policies of the Yucaipa Fire Department/CDF.
8. Fire Department access roads and/or public/private streets shall meet the Fire Department minimum width standard of twenty-four (24) feet. Access roads shall be paved (asphalt/concrete) and in place prior to placement of combustible material on site. Fire Department minimum paving thickness shall be no less than four (4) inches. This standard shall not lessen other agency requirements.
9. Fire Department access roads and/or public/private streets and residential driveways shall have a minimum vertical clearance of thirteen (13) feet and six (6) inches.
10. Fire Department access roadways and/or public/private streets and driveways shall not exceed 12% grade (please note: Engineering Division requirements may be more restrictive).
11. Required fire flow for this project, as determined by I.S.O. Formula, is as follows: gpm = 1,500; at 20 psi residual; for 2 hour duration. System shall be looped with minimum eight (8) inch mains; six (6) inch laterals; six (6) inch risers; six (6) inch diameter hydrants with one 2 ½" outlet and one 4" outlet.
12. Approved fire hydrants capable of supplying required fire flow shall be provided to all premises upon which facilities, buildings or portions of buildings are constructed or moved within the jurisdiction. When any portion of the facility or building protected is in excess of 400 feet from a fire hydrant on a public street, as measured by an approved route around the exterior of the facility or building, additional fire hydrants, meeting the required fire flow, shall be provided.
13. Fire hydrants shall be installed at locations to be determined by the California Fire Code (2019) Appendix "C". Required fire flow to be determined by the California Fire Code (2019) Appendix "B". Minimum fire flow shall not be less than 1500 gpm.

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14. Preliminary WQMP shall be submitted for review. If project will not require a WQMP, documentation indicating a WQMP is not required shall be submitted.
15. Submit WQMP Plan for Approval.

16. Groundwater pollution from urban run-off water generated by the project shall be mitigated using various structural and non-structural best management practices (BMP's), per the requirements of the California Regional Water Quality Control Board, Santa Ana Region and/or as indicated in the "New Development/Redevelopment Guidelines". All provisions of the Water Quality Management Plan (WQMP) consistent with the 2010 MS4 permit and most recent regulatory mandates shall be met.
17. The natural drainage courses traversing the site shall not be occupied or obstructed.
18. All lots must drain to streets, per the approved WQMP if applicable. If lots do not drain to streets, the cross lot drainage will be reviewed and approved by the City Engineer under provision of the Uniform Building Code Appendix 33 and the Development Code.
19. Applicant shall demonstrate that the site does not create concentrated discharges to adjacent properties and/or public right-of-way in excess of historical flows. If project does create concentrated or sheet flows off-site that are greater than historical, the applicant shall demonstrate that the downstream facilities can accommodate flows; otherwise, applicant shall provide on-site detention for excess flows in accordance with the approved WQMP.
20. 4th Street shall be designed as a water-carrying street and its water carrying capacity shall be retained.
21. Adequate elevations/geometry shall be provided on the entrance roads to the site at 4th Street to minimize the possibility of street flow entering the site
22. Lots adjacent to water-carrying streets shall be adequately elevated above the top of curb, or block walls provided, or both, to minimize the possibility of street flows entering the lots.
23. Roads within this development shall not be entered into the City Maintained Road System.
24. Road sections within and/or bordering the tract shall be designed and constructed with curbs, gutters, and sidewalks to City Road Standards, and in accordance with the General Plan Circulation Element. At intersections and driveways entering the street, the first 20 feet of slope shall not exceed 6%.
25. Final improvement plans and profiles shall indicate the location of any existing utility facility which would affect construction. Existing utility poles shall be shown on the improvement plans and relocated as necessary without cost to the City.
26. Private roads to be constructed within this development shall be built to public road standards per City policies and requirements (including Standard Number 102-0), and they shall not be entered into the City Maintained Road System.

27. Turn-arounds at dead-end streets shall be in accordance with the requirements of the Fire Marshall.
28. Road profile grades shall not be less than 0.5% unless the engineer at the time of submittal of the improvement plans provides justification to the satisfaction of the City Engineer confirming the adequacy of the grade.
29. Paved access is required from each parcel being created to a publicly maintained road. City street name signs shall be installed indicating street names and if publicly maintained or not.
30. Continuous water spraying or other approved methods must be used during grading operations to control fugitive dust.

THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO RECORDATION OF THE FINAL MAP:

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

31. Two sets of water delivery system plans, designed to meet the required fire flow for this project and/or development, shall be submitted to the Fire Department for approval.
32. Applicant-developer shall provide the Fire Department with a letter from the water provider serving the project-development verifying that financial arrangements have been made and bonds posted for the required Fire Department approved water improvements.

ENGINEERING DIVISION (909) 797-2489 EXT. 254

33. A preliminary soils report shall be filed with and approved by the City Engineer.
34. A geology report, prepared by a Licensed Engineering Geologist, shall be submitted to and approved by the City Engineer.
35. Adequate provisions shall be made to intercept and conduct the off-site tributary drainage flow around or through the site in a manner which will not adversely affect adjacent or downstream properties.
36. Adequate City Drainage Easements (minimum fifteen (15) feet wide) shall be provided over the natural drainage courses and/or drainage facilities, including WQMP identified BMP areas. The easements shall be designed to contain the 100-year frequency storm flow plus bulking and freeboard per City Standard Criteria. Flowage easements or City Drainage Easements shall be obtained

- where diversion or concentration of runoff from the site or drainage facilities dewater onto private property.
37. Detention basins shall be designed and constructed in accordance with the criteria set forth in the City Detention Basin Policy and the approved WQMP. All work shall be reviewed and approved by the City Engineer.
 38. Detention basins for the purposes of water quality filtration shall be designed and constructed in accordance with the criteria set forth in the project WQMP, landscape plans and City Detention Basin Policy. All work shall be reviewed and approved by the City Engineer.
 39. Should the use of detention basins be determined not appropriate in this case, the applicant shall design an alternate method, approved by the City Engineer.
 40. The WQMP shall be approved and the developer shall provide a financial mechanism for the maintenance of the detention basins which shall be set in place and approved by the City Engineer. The WQMP maintenance agreement shall be executed and recorded by the applicant.
 41. In addition to the drainage, traffic related, or other requirements stated herein, other “on-site” or “off-site” improvements may be required which cannot be determined from tentative plans at this time and would have to be reviewed after more complete improvement plans and profiles have been submitted to the City Engineer.
 42. A Registered Civil Engineer shall investigate and design adequate drainage facilities to intercept and conduct the drainage flows around or through the site in a manner which will not adversely affect adjacent or downstream properties.
 43. A thorough evaluation of the structural road section, to include parkway improvements, from a qualified materials engineer, shall be submitted to the Engineering Division.
 44. Existing City roads which will require reconstruction shall remain open for traffic at all times, with adequate detours, during actual construction. A cash deposit may be required to cover the cost of grading and paving prior to recordation of the map. Upon completion of the grading and paving to the satisfaction of the Engineering Division, the cash deposit will be refunded.
 45. Road improvement plans for 4th Street shall be prepared by a Registered Civil Engineer and submitted to the State Department of Transportation for review and approval.
 46. Dedication/right-of-way reservation shall be granted on 4th Street as necessary to concur with the Circulation Element.

47. All required public road and drainage improvements shall be bonded in accordance with the Development Code and City Bonding Policy unless constructed and approved prior to recordation.
48. In the event applicant fails to acquire the required off-site property interests, the developer shall at least 120 days prior to submittal of the final map, enter into an agreement to complete the improvements pursuant to Government Code Section 66462 at such time as the City acquires the property interests required for improvements. Such agreement shall provide for payment by the applicant of all costs incurred by the City to acquire off-site property interests required in connection with the subdivision. Security for a portion of these costs shall be in the form of a cash deposit in the amount given in an appraisal report obtained by the applicant, at the applicant's cost. The appraiser shall have been approved by the City prior to commencement of the appraisal.
49. The applicant shall submit road improvement plans to the Engineering Division and bond for those improvements with the City.
50. A 3-foot grant of easement is required to provide a half-width right-of-way of 33 feet on 4th Street.
51. Curbs, gutters, sidewalks, and paving shall be installed on 4th Street. Plans for all improvements must be approved by the Engineering Division, prior to installation of said improvements. A cash deposit or surety bond may be placed to fulfill this requirement.
52. Right-of-way and improvements (including off-site) to transition traffic and drainage flows from proposed to existing shall be required as necessary.
53. A Registered Civil Engineer or Licensed Land Surveyor shall be retained to design the proposed road alignment to the approval of the City Engineer. A contour map at sufficient intervals to determine existing topography (not to exceed five feet) prepared by a Registered Civil Engineer or a Licensed Land Surveyor shall be submitted to and approved by the City Engineer delineating the alignment and grade of the proposed access roads designed to City standards.
54. Applicant shall present evidence to the City Engineer that he has obtained a non-interference letter from any utility company that may have rights of easement within the property boundaries.
55. Easements of record not shown on the tract/parcel map shall be relinquished or relocated. Lots affected by proposed easements or easements of record, which cannot be relinquished or relocated, shall be redesigned.
56. Any off-site grading easements shall be obtained and these areas shall be contour graded.

PLANNING DIVISION (909) 797-2489 EXT. 224

57. A Composite Development Plan, complying with Development Code Section 83.040505, shall be filed by the applicant with the Planning Division for review and approval.

58. The Composite Development Plan shall include the following notes:

A. All parcels may be located within 1,320 feet of existing accessory animal raising uses which existed prior to the creation of this subdivision. Such uses will be protected from nuisance complaints pursuant to the City Development Code, Section 84.0560, entitled "Accessory Animal Raising".

B. Prior to occupancy, a minimum number of one (1) inch caliper/15 gallon, multi-branched trees and an appropriate groundcover shall be planted in the parkway within street right-of-way as follows:

Small trees: 25 feet on center
Large trees: 30 feet on center

These trees are to be of a type and are to be placed in such a manner as indicated in note above.

C. Street trees in the parkway between sidewalk and curb shall be provided with a linear root barrier.

D. Specify three approved street tree types (actual variety is to be approved by the Planning Division) and detail the planting specifications as outlined in the City's Standards and Specifications for Tree Planting.

E. Prior to issuance of occupancy permits, slope planting shall be required for the surface of all cut slopes more than five (5) feet in height and fill slopes more than three (3) feet in height. Said slopes shall be protected against damage by erosion by planting with grass or ground cover plants. Slopes exceeding eight (8) feet vertical height shall also be planted with shrubs, spaced at not to exceed ten (10) feet on centers; and trees, spaced at not to exceed thirty (30) feet on centers. The plants selected and planting methods used shall be suitable for the soil and climatic conditions of the site.

Trees 50% 15 gal.; 50% 5 gal.
Shrubs 50% 5 gal.; 50% 1 gal;
Groundcover 100% coverage.

F. Prior to issuance of occupancy permits, slopes and parkways required to be planted shall be provided with an approved automatic system of

irrigation, designed to cover all portions of the slope and parkway. A functional test of the system may be required. All irrigation systems, where required, shall be designed on an individual lot basis unless commonly maintained in an approved manner.

59. Should a Mello-Roos Community Facilities District be formed to provide for City services, this project shall annex into the district if it is required by the City, and the applicant hereby agrees to waive the right to protest the formation of said district.
60. The applicant/owner shall process a Condition Compliance Review through the City for verification of conditions prior to final map recordation.
61. If Covenants, Conditions & Restrictions (CC&Rs) are proposed for this project, two copies shall be submitted to the Planning Division for review and approval to ensure consistency with City policies and standards. The CC&Rs, which covenant shall run with the land, in a form satisfactory to the City Planner, shall require that the owners of the lots shall immediately remove any graffiti placed on publicly viewable trees, rocks or structures thereon to the City's satisfaction.

BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 225

62. The site shall be developed in compliance with all current model codes in effect at the time of building permit submittal. All plans shall be designed in compliance with the latest editions of the California Building Codes as adopted by the City of Yucaipa.
63. Separate submittals and permits are required for all accessory structures such as but not limited to, trash enclosures, patios, block walls and storage buildings.
64. Pursuant to California Business and Professions Code Section 6737, this project is required to be designed by a California licensed architect or engineer. Based on change of use and potential exiting and fire life safety improvements.

THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A GRADING PERMIT:

BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 225

65. The site shall be developed in compliance with all current model codes in effect at the time of building permit submittal. All plans shall be designed in compliance with the latest editions of the California Building Codes as adopted by the City of Yucaipa.

66. Separate submittals and permits are required for all accessory structures such as but not limited to, trash enclosures, patios, block walls and storage buildings.
67. Pursuant to California Business and Professions Code Section 6737, this project is required to be designed by a California licensed architect or engineer. Based on change of use and potential exiting and fire life safety improvements.

PLANNING DIVISION (909) 797-2489 EXT. 224

68. Grading permits shall not be issued for any areas to be graded and remain undeveloped until a revegetation plan is approved by the Planning Division, and until bonds are posted for revegetation.
69. Prior to grading, arrangements acceptable to the County Museum shall be made to have present during grading a qualified vertebrate paleontologist to monitor in the event paleontologic resources are encountered during rough grading. The monitor shall have the authority to temporarily suspend grading operations in the vicinity of such resources until they have been evaluated and appropriate data recovery measures implemented. The results of the monitoring shall be documented in writing and submitted to the County Museum for review prior to issuance of building permits. For more information, contact the County Museum at 909-307-2669.
70. No archaeological work is required; however, if prehistoric or historic artifacts over 50 years of age are encountered during land modification, then activities in the immediate area of the finds shall be halted and an on-site inspection performed by a qualified archaeologist, to assess the find, determine its significance, and make recommendations for appropriate mitigation measures. For more information, contact the County Museum at 909-307-2669. If human remains are encountered on the property, then the San Bernardino County Coroner's Office MUST be contacted within 24 hours of the find, and all work halted until a clearance is given by that office and any other involved agencies. Contact the County Coroner at 175 South Lena Road, San Bernardino, CA 92415-0037 or (909) 387-2543.

ENGINEERING DIVISION (909) 797-2489 EXT. 254

71. Applicant shall submit a Notice of Intent and comply with the requirements of the General Construction Activity Storm Water Permit from the State Water Resources Control Board if the project site is one (1) acre or greater.
72. The applicant shall provide documentation indicating that the WQMP, grading plan, erosion control plan and landscape plan are consistent with each other. The documentation shall indicate that each document has been reviewed by the applicant for consistency.

73. Prior to signing of the improvement plans, any proposed grading within the road right-of-way shall be done under the direction of a Soils Testing Engineer, hired by the applicant. Compaction tests of embankment construction, trench backfill, and all subgrades shall be performed at no cost to the City. Prior to placement of any base materials, and/or paving, a written report shall be submitted by the applicant's engineer to the City Engineer for review and approval.
74. For any construction within City owned right-of-way, an encroachment permit, or authorized clearance, shall be obtained by the applicant from the Engineering Division.
75. Three (3) copies of the grading plan shall be submitted to the Building and Safety Division for review and approval. A copy of the grading plan shall be submitted to the Planning Division when graded slopes exceed five (5) feet in height. All on-site cut and fill slopes shall:
 - A. Be a part of the downhill lot when between individual lots, or as approved by the City Planner and City Engineer.
 - B. Incorporate recommendations of the approved geology and soils reports.
 - C. Be contour graded to blend with existing natural contours.
 - D. Be limited to a maximum slope ratio of two-to-one (2:1) and a maximum vertical height of thirty (30) feet. Setbacks from the top and bottoms of slopes shall be a minimum of one-half (1/2) the slope height or per CBC.
 - E. Preclude damage to the site and downstream properties during heavy storm run-off, especially during the construction stage by including a stringent slope, erosion, and sediment control program on the proposed grading plan. Any such damage allowed to occur will be the responsibility of the applicant.
 - F. Provide letters of consent from adjacent property owners for proposed offsite grading.

PRIOR TO ISSUANCE OF BUILDING PERMITS, THE FOLLOWING CONDITIONS SHALL BE MET:

BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 225

76. The site shall be developed in compliance with all current model codes in effect at the time of building permit submittal. All plans shall be designed in compliance with the latest editions of the California Building Codes as adopted by the City of Yucaipa.

77. Separate submittals and permits are required for all accessory structures such as but not limited to, trash enclosures, patios, block walls and storage buildings.
78. Pursuant to California Business and Professions Code Section 6737, this project is required to be designed by a California licensed architect or engineer. Based on change of use and potential exiting and fire life safety improvements.
79. Three copies of a Landscape Documentation Package shall be submitted for Building and Safety Division review and approval. Said Landscape Documentation Package shall be consistent with the requirements of Chapter 4, of Division 10, of the Development Code and include all of the following elements:
 - A. Project Information
 - (1) Date
 - (2) Project Applicant
 - (3) Project Address (if available, parcel and/or lot number(s))
 - (4) Total Landscape Area (square feet)
 - (5) Project Type (e.g., new, rehabilitated, public, private, cemetery, homeowner-installed)
 - (6) Water Supply Type (e.g., potable, recycled, well) and identify the local retail water purveyor if the applicant is not served by a private well
 - (7) Checklist of All Documents in Landscape Documentation Package
 - (8) Project Contacts (to include contact information for the project applicant and property owner)
 - (9) Applicant Signature and Date (with statement, "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package").
 - B. Water Efficient Landscape Worksheet
 - (1) Hydrozone Information Table
 - (2) Water Budget Calculations
 - (l) Maximum Applied Water Allowance (MAWA)

(II) Estimated Total Water Use (ETWU)

- (C) Soil Management Report
- (D) Landscape Design Plan
- (E) Irrigation Design Plan
- (F) Grading Design Plan
- (G) Certification of Substantial Completion (to be submitted after installation of the project).

A copy of the approved Landscape Documentation Package shall be provided to the property owner or site manager along with the record drawings and any other information normally forwarded to the property owner or site manager. A copy of the Water Conservation Concept Statement and the Certificate of Substantial Completion shall be sent by the project manager to the local retail water purveyor.

80. Three (3) copies of a Landscaping and Irrigation Plan shall be submitted for Building and Safety Division review and approval for all proposed lots (including areas to be maintained by a Landscape Maintenance District, which shall have separate landscape plans). Said Landscape and Irrigation Plan shall include all of the requirements specified in the current City of Yucaipa Landscape Design and Installation Guidelines, and shall also include the following:

- A. The required slope planting. Slope planting shall be required for the surface of all cut slopes more than five (5) feet in height and fill slopes more than three (3) feet in height. Said slopes shall be protected against damage from erosion by planting with grass or ground cover plants. Slopes exceeding eight (8) feet in vertical height shall also be planted with shrubs, spaced at not to exceed ten (10) feet on centers; and trees, spaced at not to exceed thirty (30) feet on centers, per City Landscape Design and Installation Guidelines.

Trees 50% 15 gal.; 50% 5 gal.
Shrubs 50% 5 gal.; 50% 1 gal.
Groundcover 100% coverage

- B. Parkway planting with trees and appropriate groundcover. Trees in the parkway between sidewalk and curb shall be provided with root barriers. Tree spacing/location:

Small trees: 25 feet on center
Large trees: 30 feet on center

- C. Neighborhood entry monuments, including elevations.

PLANNING DIVISION (909) 797-2489 EXT. 224

81. The enrollment of the Yucaipa Joint Unified School District is severely impacted by new development. To mitigate the impact of this project, developer shall pay such taxes as are required by the Yucaipa Joint Unified School District Community Facilities District No. 1, and any other fees assessed by Government Code Section 53080, and 65995-65997.
82. The City of Yucaipa has implemented development impact fees for various infrastructure and capital facilities needs generated by new development. These fees will provide for various capital facilities including, but not limited to, roads, parks, flood control and drainage, public facilities, and fire fighting facilities. This project shall be subject to all such development impact fees which are in effect at the time building permits are issued.
83. Provide plans for conceptual landscaping, fencing, and detailed building elevations including materials, finishes and colors for all houses for Planning Commission review and approval prior to issuance of building permits.

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

84. A fuel break of one hundred (100) feet (brush and weed clearance) is required prior to construction. The clearance shall be maintained on a year-round basis.
85. Fire hydrants shall be installed and operational as per approved water system delivery plans prior to any framing, construction, or delivery of combustible materials to project site.

SUBJECT PROPERTY SHALL NOT BE OCCUPIED AND/OR USED FOR PURPOSES APPLIED FOR UNTIL THE FOLLOWING CONDITIONS HAVE BEEN MET:

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

86. Residential driveways shall be paved (asphalt/concrete) and shall have a minimum width of twelve (12) feet. Driveways of this standard shall serve no more than two single family dwellings and shall not exceed 12% in grade.

87. Fire Department access roadways and/or public/private streets exceeding one hundred fifty (150) feet in length shall have a Fire Department approved turn-around at the terminus (cul-de-sac). Minimum radius shall be not less than 40 feet.
88. Driveways exceeding 150 feet shall have a Fire Department approved turn-around at the terminus (hammer-head tee).
89. Fire Department access roadways and/or public/private streets and driveways shall extend to within one hundred fifty (150) feet of and shall give reasonable access to all portions of the exterior walls of the first story of any building. An access road, approved by the Fire Department, shall be provided to within fifty (50) feet of all structures when the natural grade between access road and structure is in excess of 30%. Where an approved access road cannot be provided, a fire protection system shall be required and approved by the Fire Department.
90. Address numbers shall be placed on all new and existing commercial and multi-family residential structures in such a manner as to be plainly visible and legible from the access roadway or street. Structures shall have numbers of 8" height, 3/8" stroke on contrasting background. Address numbers shall be illuminated so as to be visible and legible from access roadway or street. Industrial occupancies shall have address numbers of 12" height, 1/2" stroke and shall be illuminated so as to be visible and legible from access roadway or street. Where structure setback exceeds one hundred (100) feet from the access roadway or street, additional non-illuminated numbers are 6" in height, 3/8" stroke, on contrasting background shall be displayed at property access entrance.
91. "No Parking - Fire Lane" signs shall be posted at locations designated by Fire Marshall. Fire lane curbs shall be painted red with white letters stating "No Parking – Fire Lane".
92. On site fire hydrants capable of supplying required fire flow shall be installed at locations identified by the Fire Marshall. System shall be looped with minimum eight (8) inch mains; six (6) inch laterals; six (6) inch risers; six (6) inch diameter hydrants with one 2 1/2" outlet and one 4" outlet.
93. Approved fire hydrant pavement markers shall be installed.
94. Automatic fire sprinklers shall be installed according to NFPA 13 and Fire Department requirements. Submit three (3) sets of shop plans with material cut sheets and hydraulic calculations, indicating the type of occupancy, type of materials to be stored (if any), for Fire Department review and approval prior to any installation. Submit copy of California C-16 license.
95. Automatic fire sprinkler control devices (P.I.V. & O.S.&Y.) shall be visible from Fire Department access roadway, and identify system being controlled and

- address of structure. Fire Department Connection (FDC) shall be located no closer than fifty (50) feet and not to exceed one hundred fifty (150) feet from structure. Required fire hydrant shall have a maximum distance from FDC of thirty (30) feet. FDC shall identify address and system of structure being protected.
96. Smoke detectors, hard wired with battery back-up, shall be installed in all sleeping areas and in all hallways leading to sleeping areas. Smoke detectors shall be installed at the top of all stairways.
 97. Carbon Monoxide detectors shall be installed pursuant to manufacture specifications.
 98. High Fire Hazard Areas FR-1 & FR-2: one-hour fire resistive construction is required for exterior walls. Contact Fire Marshall or City Building Official for more information.
 99. The main electrical panel and all sub-panels shall be labeled on inside cover for all circuits.
 100. Water heater (fuel fired) shall be properly vented to exterior of structure. Water heater shall be seismic strapped to wall and be located 18" above a garage floor.
 101. A one-hour fire rated, solid core, self closing door shall be installed between an attached garage and living space.

ENGINEERING DIVISION (909) 797-2489 EXT. 254

102. Construction of private roads and private road related drainage improvements shall be inspected and certified by the City Engineer.
103. All required road and drainage improvements shall be completed.
104. Projects subject to a building permit shall have all required on and off-site improvements, required for each phase, completed and approved prior to final inspection of any buildings or structures. The term "phase" as used here shall mean the following: "The block of building permits drawn on less than the whole project" or "A plan of building construction which indicates blocks of construction of less than the whole project." In each phase the installation of any on or off-site improvements shall be sufficiently completed so as to assure protection from storm or drainage run off, a safe and driveable access for fire and safety, and the ordinary and intended use of buildings or structures. The Building Official, with the concurrence of the City Engineer, may approve any plan or approve a change to an approved plan, which complies with the intent of this policy.
105. Developer shall be required to place construction traffic control in public right-of-way during the construction of off-site improvements. Traffic control devices

shall be maintained 24 hours a day 7 days a week as directed by the City Engineer.

106. The Applicant shall submit the signed original Water Quality Management Plan (WQMP) Certification form to verify consistency of the BPMs shown on the as-built grading plans and landscape plans. In case of inconsistency, the Applicant shall revise the WQMP to match the as-built plans.

PLANNING DIVISION (909) 797-2489 EXT. 224

107. A minimum number of one (1) inch caliper/15 gallon, multi-branched trees shall be planted in the parkway within street right-of-way as follows:

Small trees: 25 feet on center
Large trees: 30 feet on center

The variety of tree to be provided is subject to City approval and to be maintained by the property owner. Trees in the parkway between sidewalk and curb shall be provided with a linear root barrier.

108. The applicable planting, irrigation, walls, monuments, and other improvements shown on the approved landscaping and irrigation plan shall be installed.
109. Developers of residential development projects greater than a single dwelling unit shall submit a report detailing the percentage of project costs spent in the City of Yucaipa. At a minimum, this report shall contain a list of local businesses/individuals that have been solicited for bids and/or received contracts for materials or services.

Simmons Built
1025 Calimesa Blvd
Calimesa, CA 92320
909-795-8928

To: City of Yucaipa Planning Department
34272 Yucaipa Blvd, Yucaipa, CA 92399
909-797-2489

This letter is to accompany the minor variance application related to the construction of a multi-unit residential complex at 13009 4th St Yucaipa, CA 92399.

Findings:

Proposed use: 16 multi-family residential dwelling units to be occupied by future residents. Requesting a 12% decrease (3 feet) of the front setback from 4th Street to the first unit, putting the setback at 22' instead of the required 25', which will match the existing Single Family Residence to the North and be further back than the Single Family Residence to the South.

The granting of such a variance will not be materially detrimental to other properties or land uses in the area and will not substantially interfere with the present or future ability to use solar energy systems, because... **80% of the area is at a 25' setback or greater so it only effects 20% of the setback area on this side. Of this 20%, there is a low roof line with minimal overhang so access to sunlight for the adjacent properties will not be altered. Additionally, it won't interfere with anyone else's ability to use similar setbacks, and the proposed setback is no more than a typical residential minimum side yard setback.**

There are exceptional or extraordinary circumstances or conditions applicable to the property or to the intended use that do not apply to other properties in the same district or vicinity, because **the existing SFR directly to the North and the South are less than the required 25' setback, with the residence to the south being significantly less. Additionally, we are granting an additional 3' dedication to the city's right of way to allow them to expand the road in the future. Furthermore, the lot is an irregular shape making it difficult to develop or fit buildings onto it and maintain all other development standards. Because of this and to maximize efficient usage of the irregularly shaped lot, we are requesting this minor variance to allow for all other parameters to be met.**

The strict application of the land use district deprives such property of privileges enjoyed by other properties in the vicinity or in the same land use district, because... **the orientation of the house in this case is such that the setback would typically be a side yard setback on a corner and not a front yard setback. Were this considered a side yard setback it would be within the allowable setback for side yards and not require a variance. Additionally, the large hammerhead turnaround at the rear of the property doesn't allow for the building to be moved back any further on the parcel.**

The granting of the variance is compatible with the objectives, policies, general land uses and programs specified in the General Plan and any applicable plan, because... **it is a minor variance that provides the same separation that setbacks provide when considered as a side yard usage on a corner. Additionally, it will enhance the look and feel of the neighborhood and will provide more affordable entry level rental housing for the City of Yucaipa.**

Thank You.

CITY OF YUCAIPA PLANNING DIVISION
PROJECT NOTICE

RECEIVED

MAR 26 2020

CITY OF YUCAIPA

DATE: March 17, 2020

CASE NUMBER: PL20190000074

APPLICANT: Rellim, Inc - Wayne Simmons

PROPOSAL: Case No. 19-074/CUP/MNV/TPM No. 20221: A Conditional Use Permit to permit a sixteen (16) unit multiple family Project consisting of seven (7) duplex units and two (2) individual units, with a Minor Variance to permit a front yard setback of 22 feet in lieu of 25 feet, and a Tentative Parcel Map (TPM No. 20221) to subdivide the Project from an existing single family residence located at 13009 4th Street; APN: 0319-161-24

LOCATION: 13009 4TH ST; APN 031916124;

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than April 01, 2020. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

If you want to be notified of the project decision, print your name clearly and legibly on this form and mail it to the address above along with a self-addressed, stamped envelope. All decisions are subject to an appeal period of ten (10) calendar days after an action is taken.

COMMENTS (If you need additional space, please attach additional pages):

SEE ATTACHED

SIGNATURE MRS. C. L. MASON DATE 3/23/20 AGENCY _____

PRINT NAME Mrs. C. L. Mason ADDRESS 13024 4TH ST. YUCAIPA, CA 92399-4524

IF YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE DELIVERED TO THE PLANNING DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL OR, IF A PUBLIC HEARING IS HELD ON THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

DUE TO TIME CONSTRAINTS AND THE NUMBER OF PERSONS WISHING TO GIVE ORAL TESTIMONY, TIME RESTRICTIONS MAY BE PLACED ON ORAL TESTIMONY AT ANY PUBLIC HEARING ABOUT THIS PROPOSAL. YOU MAY WISH TO MAKE YOUR COMMENTS IN WRITING TO ASSURE THAT YOU ARE ABLE TO EXPRESS YOURSELF ADEQUATELY.

- cc: Surrounding Property Owners
- Yucaipa Valley Water District
- Fire Department
- Engineering Division
- Building & Safety Division
- City Landscape Architect

Our concern is the impact on the following:

1. Water: Southern California has relied heavily on water from Northern California. Is Yucaipa equipped to handle the increased population.
2. Wildlife: This area is a migration corridor for Monarch, Viceroy, Queen, Soldier and other butterflies.
3. Fire: A resident just west of this new construction has been denied homeowners insurance because it was designated a Fire Zone.
4. Flood: The proximity to a natural flood channel.
5. Traffic/Parking: The increased traffic incidents at 4th and Wildwood Canyon Road. There is no parking available on 4th between Wildwood Canyon Road and Sunlight Drive.

We respectfully request the results of the impact studies. Thank you for your consideration in this matter.

The Mason Family Trust
13024 4th Street
Yucaipa, CA 92399-4524
0319-152-60-0000
909 797-1003

CITY OF YUCAIPA PLANNING DIVISION
PROJECT NOTICE

RECEIVED

DATE: March 17, 2020

MAR 26 2020

CASE NUMBER: PL20190000074

APPLICANT: Rellim, Inc - Wayne Simmons

PROPOSAL: Case No. 19-074/CUP/MNV/TPM No. 20221: A Conditional Use Permit to permit a sixteen (16) unit multiple family Project consisting of seven (7) duplex units and two (2) individual units, with a Minor Variance to permit a front yard setback of 22 feet in lieu of 25 feet, and a Tentative Parcel Map (TPM No. 20221) to subdivide the Project from an existing single family residence located at 13009 4th Street; APN: 0319-161-24

LOCATION: 13009 4TH ST; APN 031916124;

CITY OF YUCAIPA

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If you want to be notified of the project decision, print your name clearly and legibly on this form and mail it to the address above along with a self-addressed, stamped envelope. All decisions are subject to an appeal period of ten (10) calendar days after an action is taken.

COMMENTS (If you need additional space, please attach additional pages):

4th ST. CANNOT hold additional housing due to safety or lack of. Due to not being a thru street, the people that live here have a difficult time leaving and returning to their residence. The Fire Dept, medical Aid also use 4th st. to help people faster. Also we just had a new street made with new single family homes connecting 4th to 3rd st. that increased traffic called "Bella Vista Dr". 4th st. ends at Wildwood Canyon Rd. that has one stop sign. Wildwood Canyon Rd has no sign, light that causes many accidents to this day. Also few street lights. etc

SIGNATURE David Chambers DATE 3/24/20 AGENCY Resident

PRINT NAME David Chambers ADDRESS 13030 4th St.

IF YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE DELIVERED TO THE PLANNING DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL OR, IF A PUBLIC HEARING IS HELD ON THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

DUE TO TIME CONSTRAINTS AND THE NUMBER OF PERSONS WISHING TO GIVE ORAL TESTIMONY, TIME RESTRICTIONS MAY BE PLACED ON ORAL TESTIMONY AT ANY PUBLIC HEARING ABOUT THIS PROPOSAL. YOU MAY WISH TO MAKE YOUR COMMENTS IN WRITING TO ASSURE THAT YOU ARE ABLE TO EXPRESS YOURSELF ADEQUATELY.

cc: Surrounding Property Owners
Yucaipa Valley Water District
Fire Department
Engineering Division
Building & Safety Division
City Landscape Architect

CITY OF YUCAIPA PLANNING DIVISION PROJECT NOTICE

DATE: March 17, 2020

CASE NUMBER: PL20190000074

APPLICANT: Rellim, Inc - Wayne Simmons

PROPOSAL: Case No. 19-074/CUP/MNV/TPM No. 20221: A Conditional Use Permit to permit a sixteen (16) unit multiple family Project consisting of seven (7) duplex units and two (2) individual units, with a Minor Variance to permit a front yard setback of 22 feet in lieu of 25 feet, and a Tentative Parcel Map (TPM No. 20221) to subdivide the Project from an existing single family residence located at 13009 4th Street; APN: 0319-161-24

LOCATION: 13009 4TH ST; APN 031916124;

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than April 01, 2020. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Benjamin Matlock at (909) 797-2489, ext. 261. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

If you want to be notified of the project decision, print your name clearly and legibly on this form and mail it to the address above along with a self-addressed, stamped envelope. All decisions are subject to an appeal period of ten (10) calendar days after an action is taken.

COMMENTS (If you need additional space, please attach additional pages):

- ① water run off needs to go toward wildwood not to our wash we have to much run off from the new home or you had said it benefited between two washes
- ② will they have a road to go exit through the back and one to come in the front
- ③ Gated community, need's sand security.
- ④ Their pool water is being dumped out to the street and it goes to the wash, that needs to stop. What ever they are letting out on a hose.

SIGNATURE Barbara Campos DATE 4-1-20 AGENCY _____

PRINT NAME BARBARA Campos ADDRESS 12974 4th ST

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cc: Surrounding Property Owners
Yucaipa Valley Water District
Fire Department
Engineering Division
Building & Safety Division
City Landscape Architect

RECEIVED

APR 04 2020

CITY
OF
YUCAIPA

RECEIVED

CITY OF YUCAIPA PLANNING DIVISION
PROJECT NOTICE

APR 04 2020

CITY
OF
YUCAIPA

DATE: March 17, 2020

CASE NUMBER: PL20190000074

APPLICANT: Rellim, Inc - Wayne Simmons

PROPOSAL: Case No. 19-074/CUP/MNV/TPM No. 20221: A Conditional Use Permit to permit a sixteen (16) unit multiple family Project consisting of seven (7) duplex units and two (2) individual units, with a Minor Variance to permit a front yard setback of 22 feet in lieu of 25 feet, and a Tentative Parcel Map (TPM No. 20221) to subdivide the Project from an existing single family residence located at 13009 4th Street; APN: 0319-161-24

LOCATION: 13009 4TH ST; APN 031916124;

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COMMENTS (If you need additional space, please attach additional pages):

SIGNATURE Angelina Barbo DATE 3-30-2020 AGENCY _____

PRINT NAME ANGELINA BARBO ADDRESS 13010 4TH ST YUCAIPA CA

IF YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE DELIVERED TO THE PLANNING DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL OR, IF A PUBLIC HEARING IS HELD ON THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

2399

DUE TO TIME CONSTRAINTS AND THE NUMBER OF PERSONS WISHING TO GIVE ORAL TESTIMONY, TIME RESTRICTIONS MAY BE PLACED ON ORAL TESTIMONY AT ANY PUBLIC HEARING ABOUT THIS PROPOSAL. YOU MAY WISH TO MAKE YOUR COMMENTS IN WRITING TO ASSURE THAT YOU ARE ABLE TO EXPRESS YOURSELF ADEQUATELY.

- cc: Surrounding Property Owners
- Yucaipa Valley Water District
- Fire Department
- Engineering Division
- Building & Safety Division
- City Landscape Architect

Our concern is the impact on the following:

1. Water: Southern California has relied heavily on water from Northern California. Is Yucaipa equipped to handle the increased population.
2. Wildlife: This area is a migration corridor for Monarch, Viceroy, Queen, Soldier and other butterflies.
3. Fire: A resident just west of this new construction has been denied homeowners insurance because it was designated a Fire Zone.
4. Flood: The proximity to a natural flood channel.
5. Traffic/Parking: The increased traffic incidents at 4th and Wildwood Canyon Road. There is no parking available on 4th between Wildwood Canyon Road and Sunlight Drive.

We respectfully request the results of the impact studies. Thank you for your consideration in this matter.

Angelina Barbo

**CITY OF YUCAIPA PLANNING DIVISION
PROJECT NOTICE**

DATE: March 17, 2020

CASE NUMBER: PL20190000074

APPLICANT: Rellim, Inc - Wayne Simmons

PROPOSAL: Case No. 19-074/CUP/MNV/TPM No. 20221: A Conditional Use Permit to permit a sixteen (16) unit multiple family Project consisting of seven (7) duplex units and two (2) individual units, with a Minor Variance to permit a front yard setback of 22 feet in lieu of 25 feet, and a Tentative Parcel Map (TPM No. 20221) to subdivide the Project from an existing single family residence located at 13009 4th Street; APN: 0319-161-24

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COMMENTS (If you need additional space, please attach additional pages):

*Applicant - Rellim, Inc. - Wayne Simmons
Case Number PL20190000074
I Am against The project of 7 duplex units and 2 individual units at 13009 4th St. Yucaipa.
Two doors down there are duplexes already.
Are you going to allow the people on that side of the street who have the same amount of property to build duplexes too?*

SIGNATURE Judith Brazaitis DATE _____ AGENCY _____

PRINT NAME Judith Brazaitis ADDRESS 12996-4th St. Yucaipa

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- cc: Surrounding Property Owners
- Yucaipa Valley Water District
- Fire Department
- Engineering Division
- Building & Safety Division
- City Landscape Architect

RECEIVED
APR 07 2020
CITY OF YUCAIPA

CITY OF YUCAIPA PLANNING DIVISION
PROJECT NOTICE

RECEIVED

JUN 15 2020

DATE: March 17, 2020

CASE NUMBER: PL20190000074

APPLICANT: Rellim, Inc - Wayne Simmons

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CITY
OF
YUCAIPA

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COMMENTS (If you need additional space, please attach additional pages):

We really appreciate if a Block wall of 8' tall
is Build from the entrance all the
way of the property to maintain
our privacy thank you.

SIGNATURE Mirtha Gonzalez DATE 3-31-20 AGENCY owner

PRINT NAME Mirtha Gonzalez ADDRESS 13039 4th St Yucaipa CA 92399

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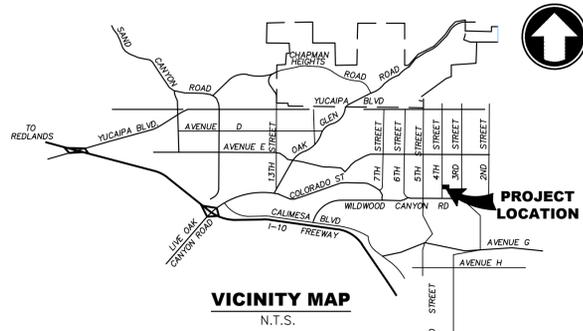
cc: Surrounding Property Owners
Yucaipa Valley Water District
Fire Department
Engineering Division
Building & Safety Division
City Landscape Architect

CITY OF YUCAIPA

TENTATIVE PARCEL MAP No.20221

A.P.N. 0319-161-24

13009 4TH STREET, YUCAIPA, CALIFORNIA
SUB No.2 YUCAIPA VALLEY POINT LOT 54 BEGIN AT SW CORNER SOUTH LOT WHICH IS
C/L AVE F THEN NORTH ALIGNMENT C/L 4th STREET.



OWNER / APPLICANT
 WAYNE SIMMONS-APPLICANT
 RELIM INC., MICHAEL NOVAK-OWNERS
 1025 CALIMESA BVD #8,
 CALIMESA, CALIFORNIA 92320
 PHONE: 909-289-3118

ASSESSOR'S PARCEL NO.
 0319-161-24

NUMBER OF PARCELS
 2

LOT AREA
 2,3842 AC
 (103,856.21 SQ. FT.)

EXISTING ZONING
 RM-72C MULTIPLE RESIDENTIAL

ADJACENT LAND USE
 APN 0319-161-23 - MULTIPLE RESIDENTIAL
 APN 0319-161-25 - MULTIPLE RESIDENTIAL
 APN 0319-161-07 - MULTIPLE RESIDENTIAL
 APN 0319-161-08 - MULTIPLE RESIDENTIAL
 APN 0319-161-09 - MULTIPLE RESIDENTIAL
 APN 0319-161-15 - MULTIPLE RESIDENTIAL

PROPOSED LAND GENERAL PLAN
 MULTIPLE RESIDENTIAL

UTILITIES

WATER:	YUCAIPA VALLEY WATER DISTRICT	PH:(909) 797-5117
GAS:	SOUTHERN CALIFORNIA GAS	PH: 800 427-2200
ELECTRIC:	SOUTHERN CALIFORNIA EDISON	PH: 800 811-1911
PHONE:	VERIZON	PH: 800 922-0204
CABLE:	FRONTIER SPECTRUM	PH: 844 365-5668
		PH: 800 892-4257

FLOOD ZONE
 FLOOD ZONE-X
 FLOOD MAP #06071C8745H

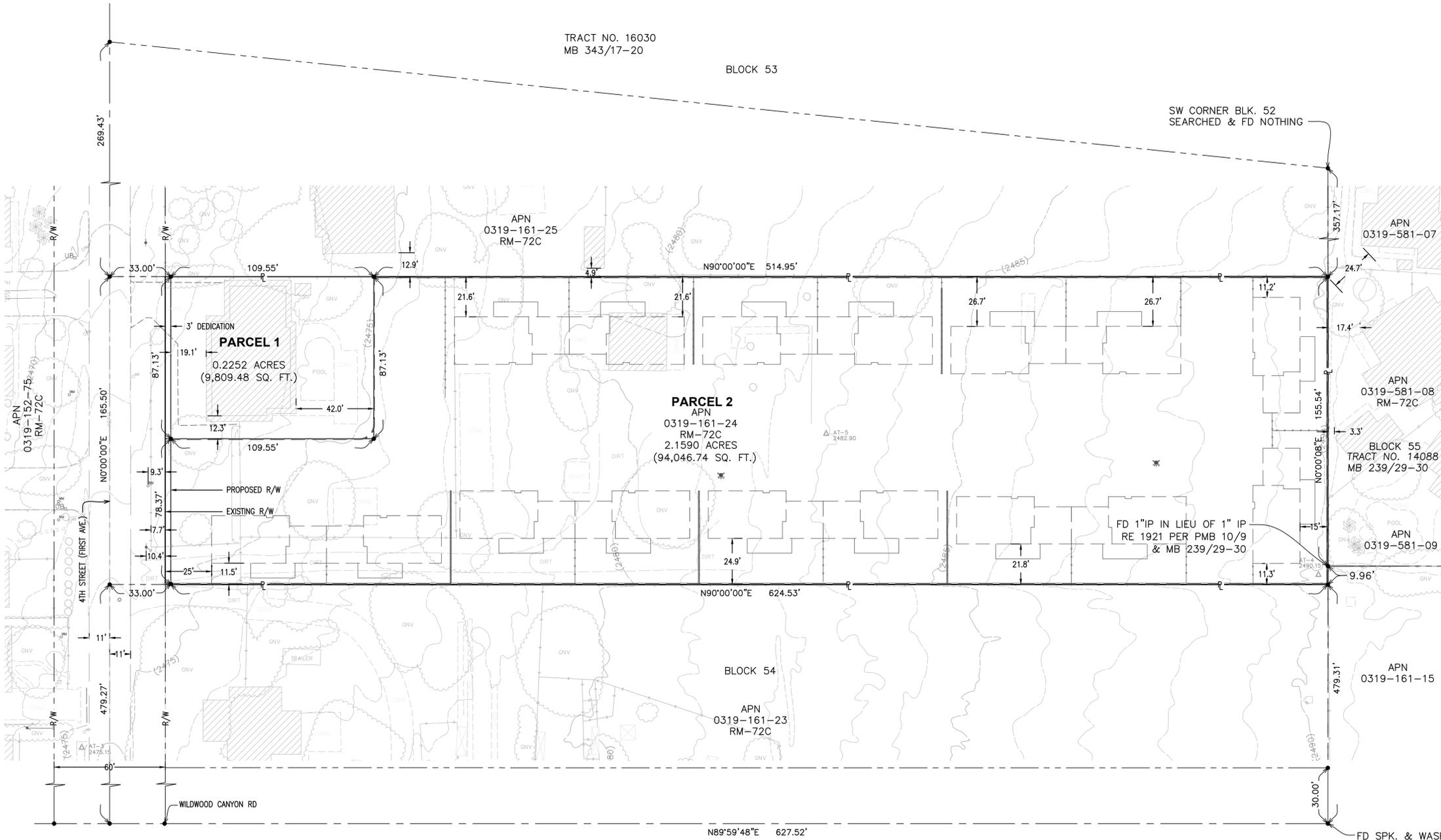
PROPOSED LAND USE
 MULTIPLE RESIDENTIAL

PROPOSED ZONING
 RM-72C RESIDENTIAL

EXISTING LAND USE
 MULTIPLE RESIDENTIAL

SCHOOL DISTRICT
 YUCAIPA-CALIMESA JOINT UNIFIED
 SCHOOL DISTRICT

ZONING
 RM-72C
 RM-72C
 RM-72C
 RM-72C
 RM-72C
 RM-72C



LEGEND

---	CENTERLINE	---	EXISTING BUILDING
---	RIGHT-OF-WAY	---	EXISTING OVERHANG
---	EXISTING PROPERTY LINE	---	TRANS. TOWERS
---	PROPOSED PROPERTY LINE	---	SIGNS
---		---	POWER POLE
---		---	STREET LAMPS
---		---	TRAFFIC LIGHTS
---		---	MANHOLE
---		---	VALVE COVER
---		---	CATCH BASIN
---		---	DROP INLET
---		---	CONTROL POINTS
---		---	FIRE HYDRANT
---		---	METER
---		---	MAIL BOX
---		---	FLAG POLE
---		---	STAND PIPE
---		---	TREE

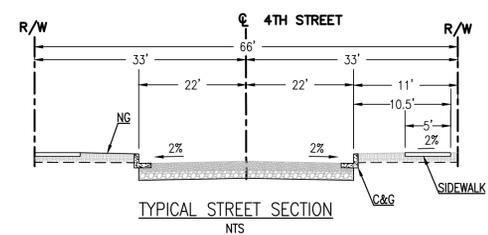
ABBREVIATIONS

ASPH	ASPHALT
CONC	CONCRETE
GNV	GROUND NOT VISIBLE
U/C	UNDER CONSTRUCTION
W/L	WATER LEVEL

NOTES
 ALL EXISTING PLANT AND TREES WILL BE REMOVED.

LEGAL DESCRIPTION
 SUB NO 2 YUCAIPA VALLEY POINT LOT 54 BEGIN AT SW CORNER LOT WHICH IS C/L AVE F THENCE NORTH ALIGNMENT C/L 4TH STREET 644.77 FOR POINT OF BEGINNING THENCE EAST 658 FEET THENCE SOUTH 165.5 FEET THENCE WEST 658 FEET THENCE NORTH 165.5 TO THE POINT OF BEGINNING 2.38 AC

ASSESSOR'S PARCEL NUMBER: 0319-161-24



CITY OF YUCAIPA

TENTATIVE PARCEL No.20221

FOR
A.P.N. 0319-161-24
13009 4th STREET, YUCAIPA, CALIFORNIA 92399

SUBMITTED BY: _____ DATE: _____
 RECOMMENDED FOR APPROVAL BY: _____ DATE: _____
 APPROVED BY: _____ DATE: _____

JOB NO. : _____ DRAWING NO. : _____
 SHEET 1 OF 1

CITY OF YUCAIPA PUBLIC WORKS DEPARTMENT
 ENGINEERING DIVISION

Underground Service Alert

TWO WORKING DAYS BEFORE YOU DIG

REVISIONS		
No.	By	Date



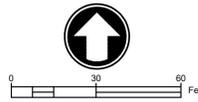
SUBMITTED BY: _____ DATE: 02/27/2020

MATT BRUDIN RCE No. 41836 EXP. 03/31/2020

SCALE: _____ DRAWN BY: IG DESIGNED BY: MB CHECKED BY: MB



1861 W. Redlands Avenue
 San Bernardino, California 92373
 (951) 890-1255 Fax (951) 890-0995



CITY OF YUCAIPA

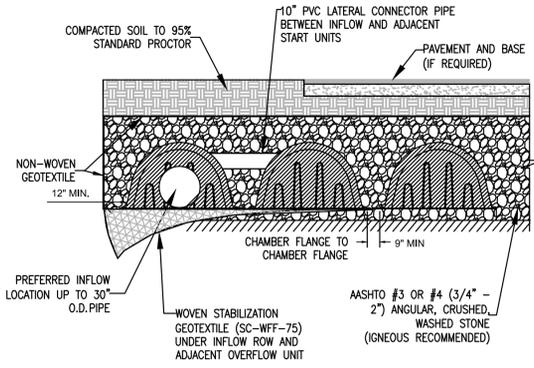
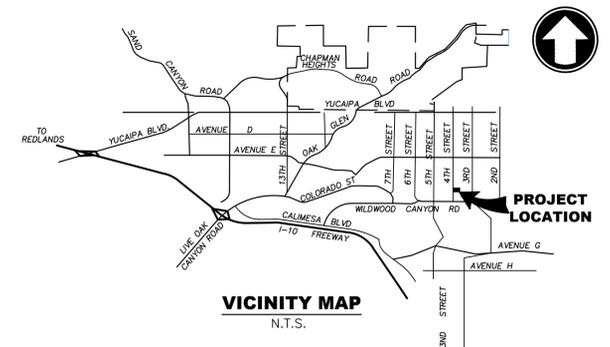
CONDITIONAL USE PERMIT

16 APARTMENT UNITS

A.P.N. 0319-161-24

13009 4TH STREET, YUCAIPA, CALIFORNIA

SUB No.2 YUCAIPA VALLEY POINT LOT 54 BEGIN AT SW CORNER SOUTH LOT WHICH IS C/L AVE F THEN NORTH ALIGNMENT C/L 4th STREET



OWNER
WAYNE SIMMONS-APPLICANT
RELLIM INC., MICHAEL NOVAK-OWNERS
1025 CALIFORNIA BLVD #8
YUCAIPA, CALIFORNIA 92320
PHONE: 909-795-8928

APN NUMBER
0319-161-24

PROPERTY ADDRESS
13009 4th STREET,
YUCAIPA, CALIFORNIA 92399

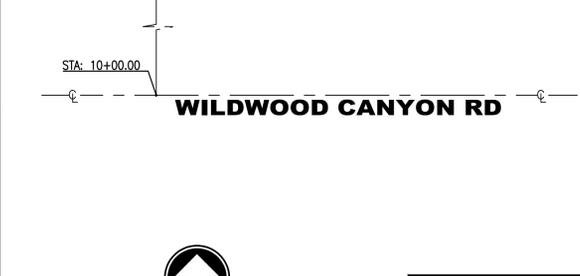
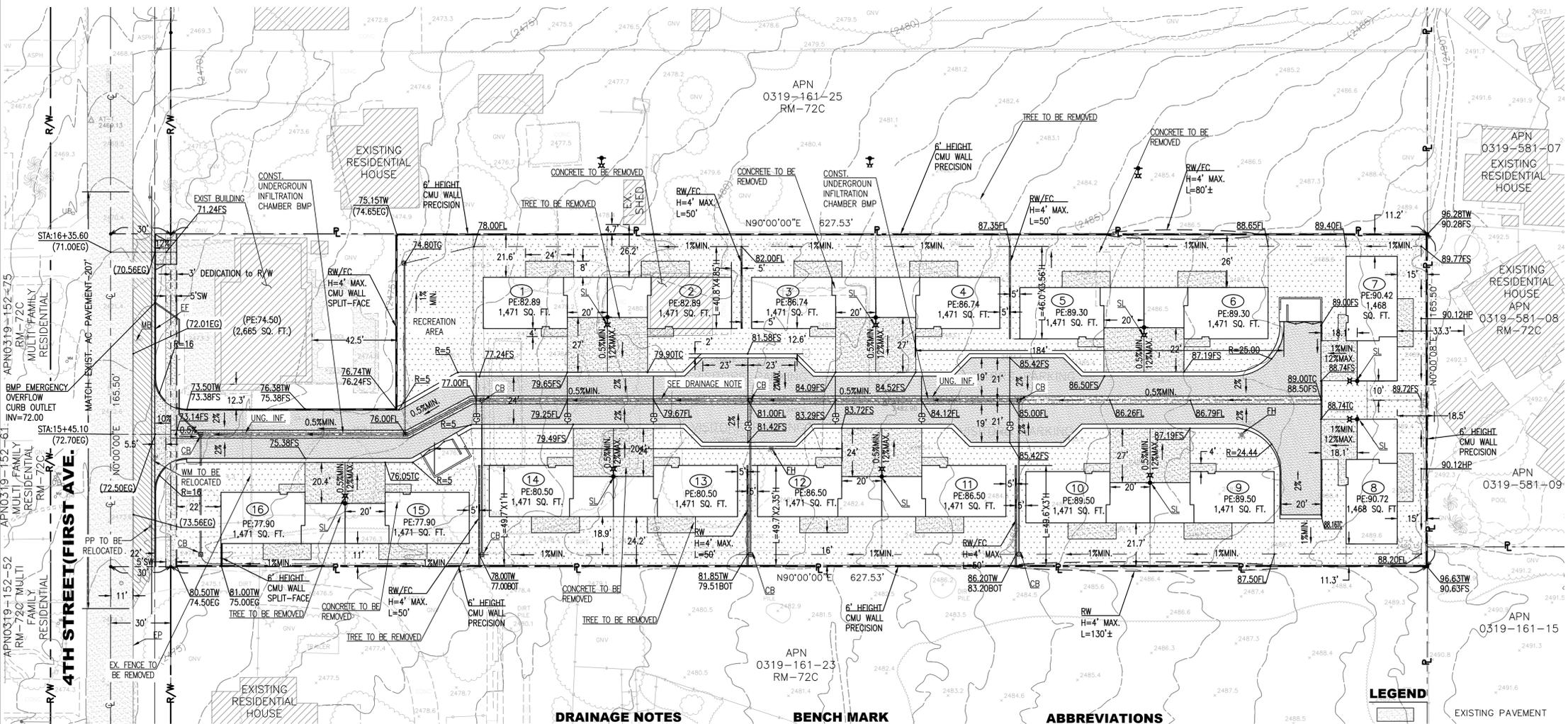
PROJECT DESCRIPTION
16 MULTI-FAMILY RESIDENTIAL DWELLING UNITS
VARIANCE FOR 22' FRONT YARD SETBACK.
PTN. SUBDIVISION No.2 OF YUCAIPA VALLEY M.B. 17/99

AREA
GROSS AREA: 2.38 AC.
NET AREA : 2.15 AC.
GROSS DENSITY: 7.5 D.U.S./AC.

GENERAL PLAN DESIGNATION
RM-72C

SURVEY
JD COLE & ASSOCIATES INC.
LAND SURVEYING
(909) 797-2074

UTILITY PURVEYORS
CONTACT UNDERGROUND SERVICES ALERT (USA) AND ALL UTILITY COMPANIES AS REQUIRED 48 HOURS PRIOR TO EXCAVATION. PROVIDED FOR YOUR CONVENIENCE ARE THE FOLLOWING:
WATER: WESTERN HEIGHTS WATER COMPANY PH: (909) 790-1901
SOUTH MESA COMPANY PH: (909) 795-2401
YUCAIPA VALLEY WATER DISTRICT PH: (909) 797-5117
GAS: SOUTHERN CALIFORNIA GAS PH: 800 427-2200
ELECTRIC: SOUTHERN CALIFORNIA EDISON PH: 800 611-1911
PHONE: VERIZON PH: 800 922-0204
CABLE: FRONTIER PH: 844 365-5668
SPECTRUM PH: 800 892-4257



DRAINAGE NOTES
ALL PRELIMINARY DRAINAGE AND WOMP CALCULATIONS ARE FOUND IN THE PRELIMINARY HYDROLOGY STUDY.

BENCH MARK
AT WILLOW CANYON ROAD AND 2nd STREET, 630 FEET WEST OF 2nd, 32 FEET NORTH OF WILLOW, 21.2 FEET EAST OF WEST AND OF CURB, NEAR WEST END OF MOBILE HOME PARK, 14.7 FEET SOUTH OF CONCRETE BLOCK WALL, 21 FEET EAST, 65 FEET NORTH OF POWER POLE NUMBER 1338657E (60-61).

NOTES
NO EASEMENT EXIT WITHIN THE CONSTRUCTION SITE AREA.
NO HILLY TERRAIN OR DRAINAGE CHANNEL EXIST.
ALL EXISTING PLANT AND TREES WILL BE REMOVED.
NO SLOPES LESS THAN 5% ALLOWED WITHIN THE 10' OF THE PROPOSED PAD.

ABBREVIATIONS
CB CATCH BASIN (SEE DRAINAGE NOTE)
DIA DIAMETER
EG EXISTING GRADE
EP EXISTING PAVEMENT
EF EXISTING FENCE
FS FINISH SURFACE
GB GRADE BRAKE
UNG. INF. UNDER GROUND INFILTRATION (SEE DRAINAGE NOTE)
TC TOP OF CURB
TG TOP OF GRATE
TW TOP OF WALL
TF TOP OF FOOTING
PE PAD ELEVATION
BOT BOTTOM
RW RETAINING WALL
RW/FC RETAINING WALL WITH VINYL FENCE
SW SIDEWALK
SL STREET LIGHT

LEGEND
EXISTING PAVEMENT
PROPOSED LANDSCAPE AREA
PROPOSED PAVEMENT
PROPOSED CONCRETE
EXISTING 1' CONTOUR
PROPOSED CMU WALL
RETAINING WALL WITH VINYL FENCE
PROPOSED 5' VINYL FENCE
PROPOSED FLOW LINE
PROPOSED STREET LIGHT

PARKING SUMMARY
TENANT PARKING:
REQUIRED: 32 SPACES
PROVIDE: 32 SPACES
FORMULA: 16 UNITS x 2 ENCLOSED SPACES= 32 SPACES
GUEST PARKING:
REQUIRED: 1 SPACE PER 2 UNITS= 8 SPACES
PROVIDE: 8 STREET SPACES, 16 DRIVEWAY SPACES
FORMULA: 16 UNITS/2= 8 SPACES

GEOLOGIC INFORMATION
PROPERTY IS NOT LOCATED IN A FAULT ZONE.
POTENTIAL FOR LIQUEFACTION IS MODERATE.

FLOOD PLAIN INFORMATION
FLOOD ZONE X PER MAP 06071C8745H
DATED: 08/28/2008

EARTHWORK QUANTITIES GRADING SCHEDULE
CUT = 39.50 C.Y.
FILL = 5,422.00 C.Y.
TOTAL IMPORT = 5,382.50 C.Y.
APPROX. DATES:
BEGIN - 06/30/2020
FINISH - 12/30/2020

LOT COVERAGE
IMPERVIOUS AREA: 55,530 SQ. FT.
PERVIOUS AREA: 37,453 SQ. FT.
BUILDING AREA 1,471x16 (25%): 23,536 SQ. FT.
LANDSCAPE AREA (7%): 6,304 SQ. FT.
PARKING/CIRCULATION AREA (34%): 31,592 SQ. FT.
PRIVATE OPEN SPACE (34%): 31,551 SQ. FT.

CITY OF YUCAIPA
16 UNITS MULTI-FAMILY RESIDENTIAL

FOR
A.P.N. 0319-161-24
13009 4th STREET, YUCAIPA, CALIFORNIA 92399

SUBMITTED BY: _____ DATE: _____
RECOMMENDED FOR APPROVAL BY: _____ DATE: _____
APPROVED BY: _____ DATE: _____
JOB NO.: _____ DRAWING NO.: _____
SHEET 1 OF 1

CITY OF YUCAIPA PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION

Underground Service Alert
811
TWO WORKING DAYS BEFORE YOU DIG

REVISIONS		
No.	By	Date

Seal:

SUBMITTED BY: _____ DATE: 02/27/2020
MATT BRUDIN RCE No. 41836 EXP. 03/31/2020

SCALE: AS NOTED DRAWN BY: IG DESIGNED BY: MB CHECKED BY: MB

ERSG
Engineering Resources of Southern California

1861 W. Redlands Avenue
San Bernardino, California 92373
(951) 890-1255 Fax (951) 890-0995

CITY OF YUCAIPA

CONDITIONAL USE PERMIT

16 APARTMENT UNITS

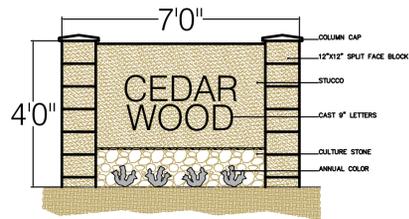
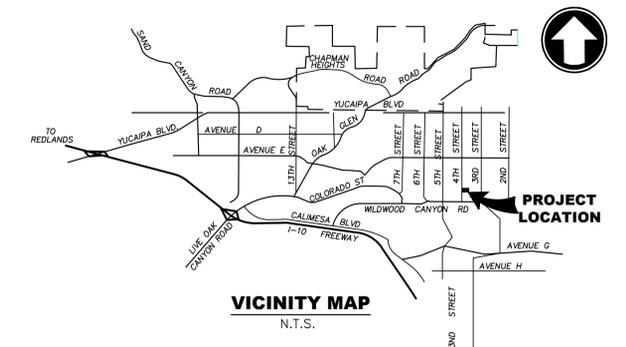
A.P.N. 0319-161-24

13009 4TH STREET, YUCAIPA, CALIFORNIA

SUB No.2 YUCAIPA VALLEY POINT LOT 54 BEGIN AT SW CORNER SOUTH LOT WHICH IS C/L AVE F THEN NORTH

ALIGNMENT C/L 4th STREET

CONCEPTUAL LANDSCAPE PLAN



CONCEPTUAL ENTRY STATEMENT

OWNER
WAYNE SIMMONS-APPLICANT
RELLIM INC., MICHAEL NOVAK-OWNERS
1025 CALIMESA BVD #8,
CALIMESA, CALIFORNIA 92320
PHONE: 909-289-3118

APN NUMBER
0319-161-24

PROPERTY ADDRESS
13009 4th STREET,
YUCAIPA, CALIFORNIA 92399

PROJECT DESCRIPTION
16 MULTI-FAMILY RESIDENTIAL DWELLING UNITS
PTN. SUBDIVISION No.2 OF YUCAIPA VALLEY M.B. 17/99

AREA
GROSS AREA: 2.38 AC.
NET AREA : 2.15 AC.
GROSS DENSITY: 7.5 D.U.S./AC.

GENERAL PLAN DESIGNATION
RM-72C

SURVEY
JD COLE & ASSOCIATES INC.
LAND SURVEYING
(909) 797-2074

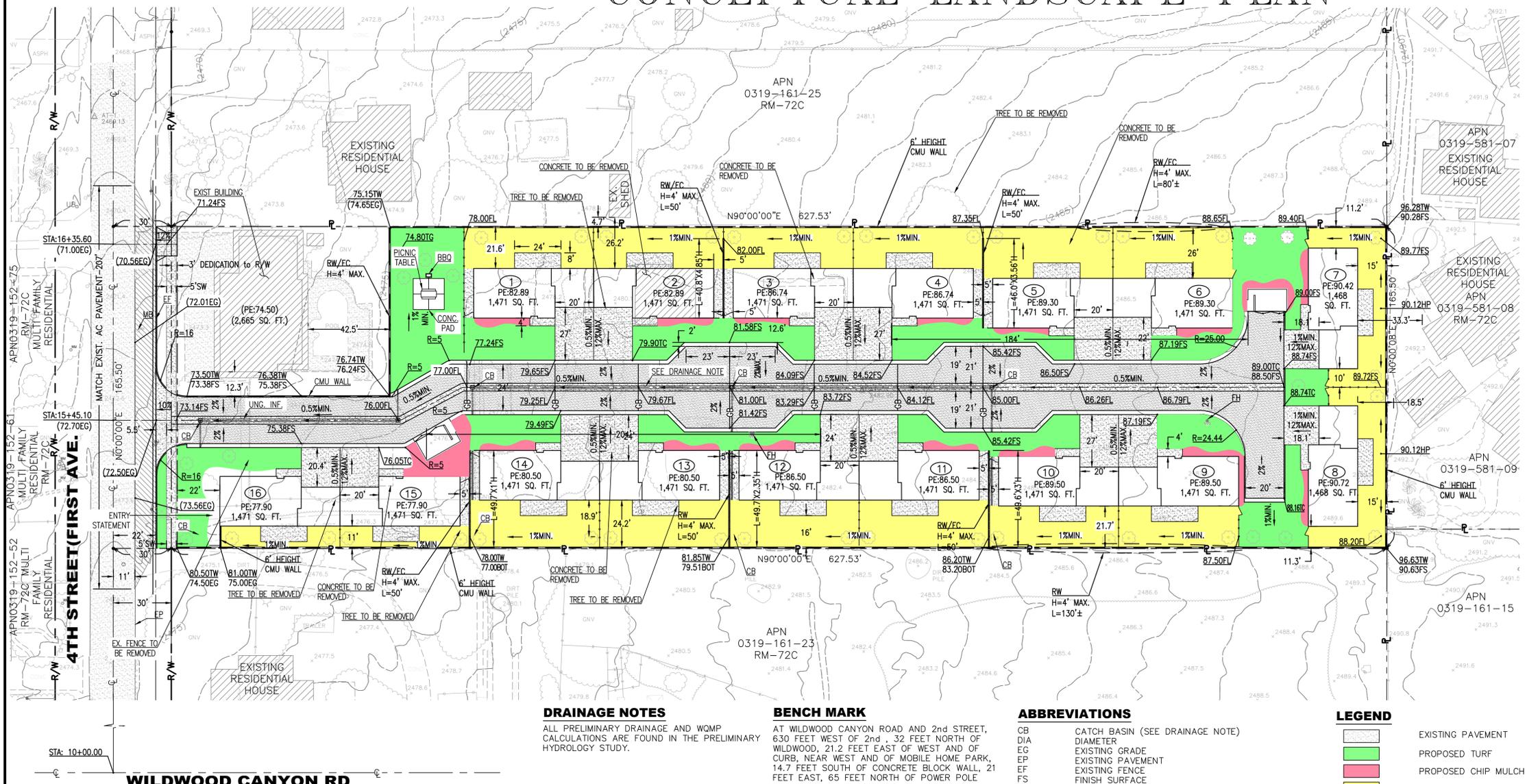
UTILITY PURVEYORS
CONTACT UNDERGROUND SERVICES ALERT (USA) AND ALL UTILITY COMPANIES AS REQUIRED 48 HOURS PRIOR TO EXCAVATION. PROVIDED FOR YOUR CONVENIENCE ARE THE FOLLOWING:

WATER: WESTERN HEIGHTS WATER COMPANY PH: (909) 790-1901
SOUTH MESA COMPANY PH: (909) 795-2401

GAS: YUCAIPA VALLEY WATER DISTRICT PH: (909) 797-5117
SOUTHERN CALIFORNIA GAS PH: 800 427-2200

ELECTRIC: SOUTHERN CALIFORNIA EDISON PH: 800 611-1911
VERIZON PH: 800 922-0204

CABLE: FRONTIER PH: 844 365-5668
SPECTRUM PH: 800 892-4257



GEOLOGIC INFORMATION
PROPERTY IS NOT LOCATED IN A FAULT ZONE.
POTENTIAL FOR LIQUEFACTION IS MODERATE.

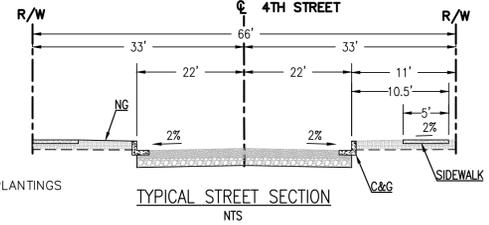
FLOOD PLAIN INFORMATION
FLOOD ZONE X PER MAP 06071C8745H
DATED: 08/28/2008

EARTHWORK QUANTITIES GRADING SCHEDULE

CUT	= 39.50 C.Y.	APPROX. DATES:	
FILL	= 5,422.00 C.Y.	BEGIN	03/30/2020
TOTAL IMPORT	= 5,382.50 C.Y.	FINISH	09/30/2020

LOT COVERAGE

IMPERVIOUS AREA: 55,530 SQ. FT.
PERVIOUS AREA: 37,453 SQ. FT.
BUILDING AREA: 1,471X16 (25%): 23,536 SQ. FT.
LANDSCAPE AREA (7%): 6,304 SQ. FT.
PARKING/CIRCULATION AREA (34%): 31,592 SQ. FT.
PRIVATE OPEN SPACE (34%): 31,551 SQ. FT.



DRAINAGE NOTES

ALL PRELIMINARY DRAINAGE AND WQMP CALCULATIONS ARE FOUND IN THE PRELIMINARY HYDROLOGY STUDY.

BENCH MARK

AT WILDWOOD CANYON ROAD AND 2nd STREET, 630 FEET WEST OF 2nd, 32 FEET NORTH OF WILDWOOD, 21.2 FEET EAST OF WEST END OF CURB, NEAR WEST END OF MOBILE HOME PARK, 14.7 FEET SOUTH OF CONCRETE BLOCK WALL, 21 FEET EAST, 65 FEET NORTH OF POWER POLE NUMBER 1338657E (60-61).

NOTES

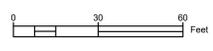
NO EASEMENT EXIT WITHIN THE CONSTRUCTION SITE AREA.
NO HILLY TERRAIN OR DRAINAGE CHANNEL EXIST.
ALL EXISTING PLANT AND TREES WILL BE REMOVED.
NO SLOPES LESS THAN 5% ALLOWED WITHIN THE 10' OF THE PROPOSED PAD.

ABBREVIATIONS

- CB CATCH BASIN (SEE DRAINAGE NOTE)
- DIA DIAMETER
- EG EXISTING GRADE
- EP EXISTING PAVEMENT
- EF EXISTING FENCE
- FS FINISH SURFACE
- GB GRADE BRAKE
- UNG. INF. UNDER GROUND INFILTRATION (SEE DRAINAGE NOTE)
- TC TOP OF CURB
- TG TOP OF GRATE
- TW TOP OF WALL
- TF TOP OF FOOTING
- PE PAD ELEVATION
- POT BOTTOM
- RW RETAINING WALL
- RW/FC RETAINING WALL WITH VINYL FENCE
- SW SIDEWALK

LEGEND

- [Pattern] EXISTING PAVEMENT
- [Pattern] PROPOSED TURF
- [Pattern] PROPOSED CHIP MULCH & PLANTINGS
- [Pattern] PROPOSED DG MULCH
- [Pattern] PROPOSED PAVEMENT
- [Pattern] PROPOSED CONCRETE
- [Pattern] EXISTING 1' CONTOUR
- [Pattern] PROPOSED CMU WALL
- [Pattern] PROPOSED 5' VINYL FENCE
- [Pattern] PROPOSED FLOW LINE



REVISIONS		
No.	By	Date



SUBMITTED BY:	DATE:	02/27/2020
MATT BRUDIN	RCE No. 41836	EXP. 03/31/2020
SCALE:	DRAWN BY:	DESIGNED BY:
AS NOTED	IG	MB
CHECKED BY:	MB	



1861 W. Redlands Avenue
San Bernardino, California 92373
(951) 890-1255 Fax (951) 890-0995

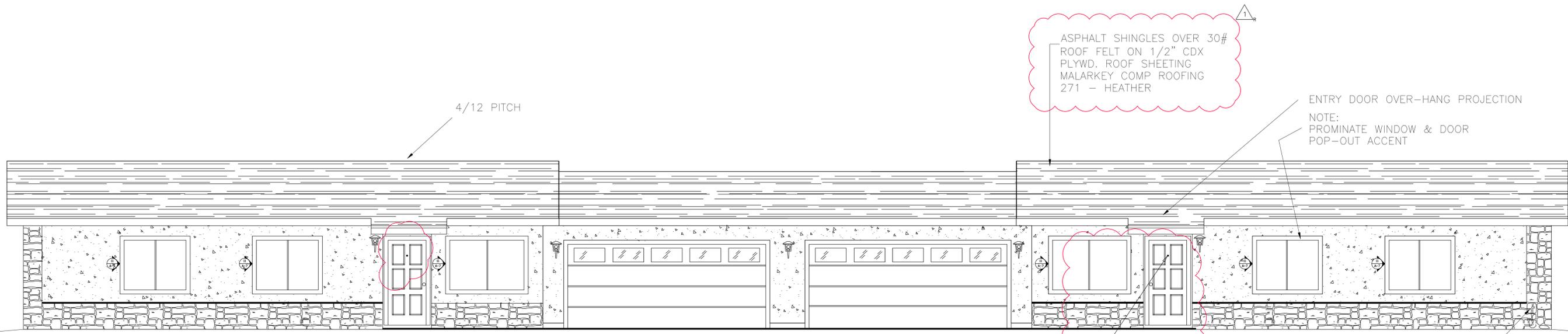
CITY OF YUCAIPA
16 UNITS MULTI-FAMILY RESIDENTIAL

FOR
A.P.N. 0319-161-24
13009 4th STREET, YUCAIPA, CALIFORNIA 92399

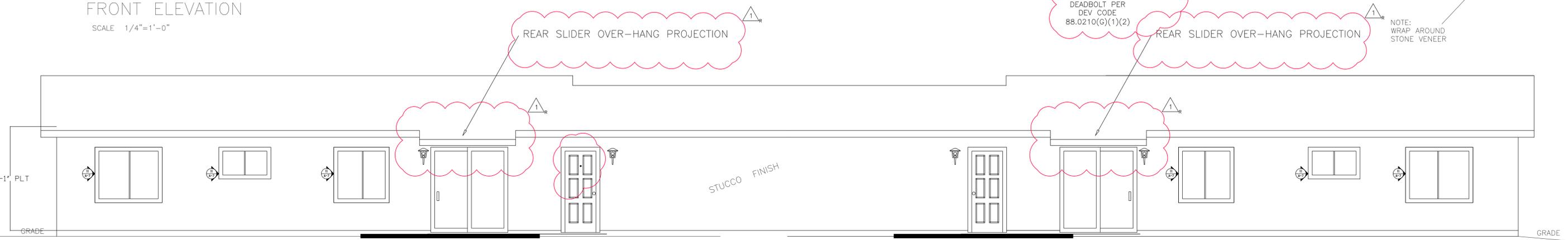
SUBMITTED BY: _____ DATE: _____
RECOMMENDED FOR APPROVAL BY: _____ DATE: _____
APPROVED BY: _____ DATE: _____

JOB NO.: _____ DRAWING NO.: _____
SHEET 1 OF 1

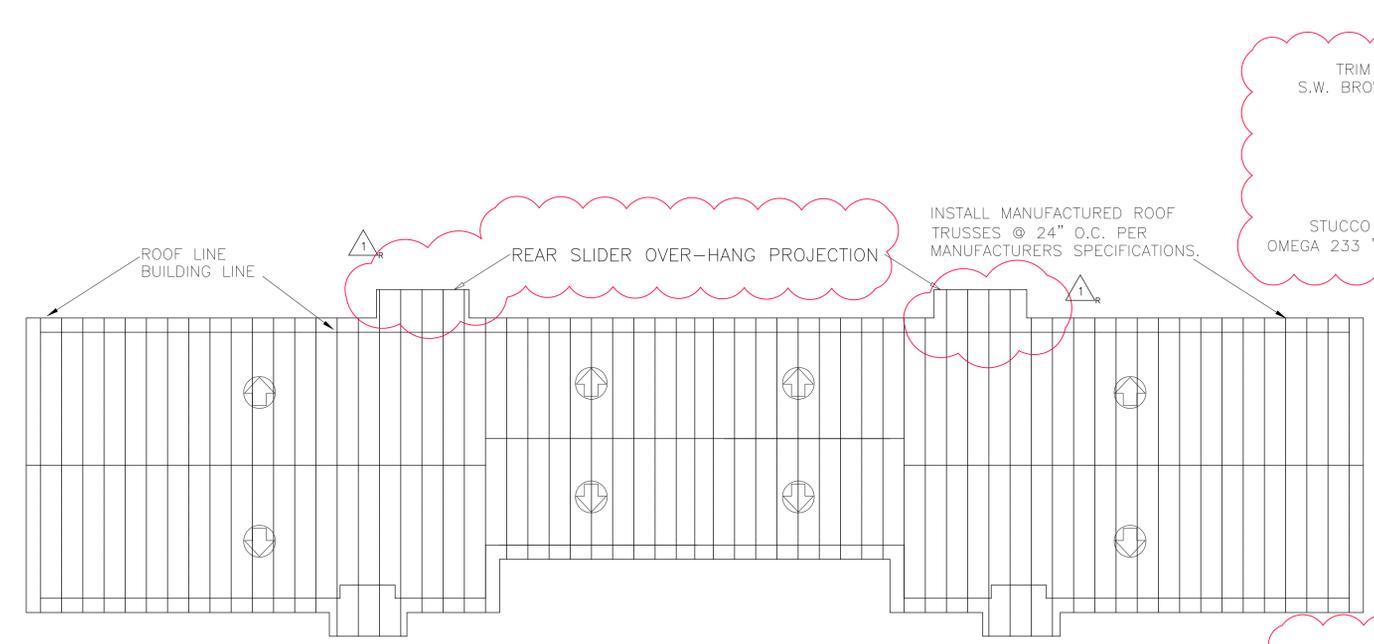
CITY OF YUCAIPA PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION



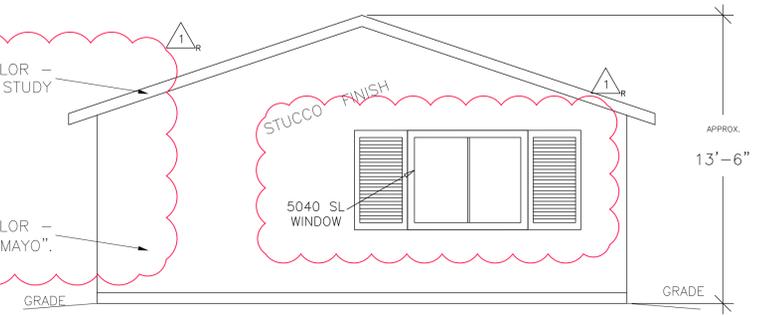
FRONT ELEVATION
SCALE 1/4"=1'-0"



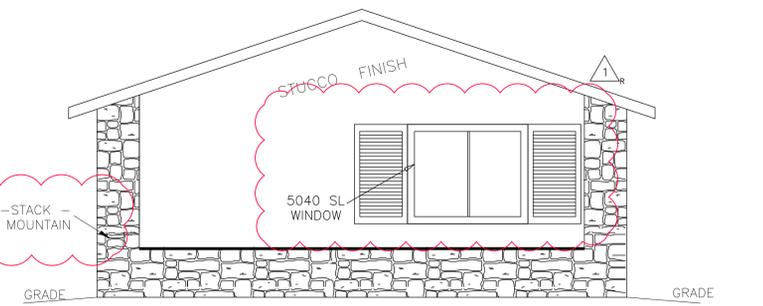
REAR ELEVATION
SCALE 1/4"=1'-0"



ROOF PLAN
SCALE 1/8"=1'-0"



LEFT ELEVATION
SCALE 1/4"=1'-0"



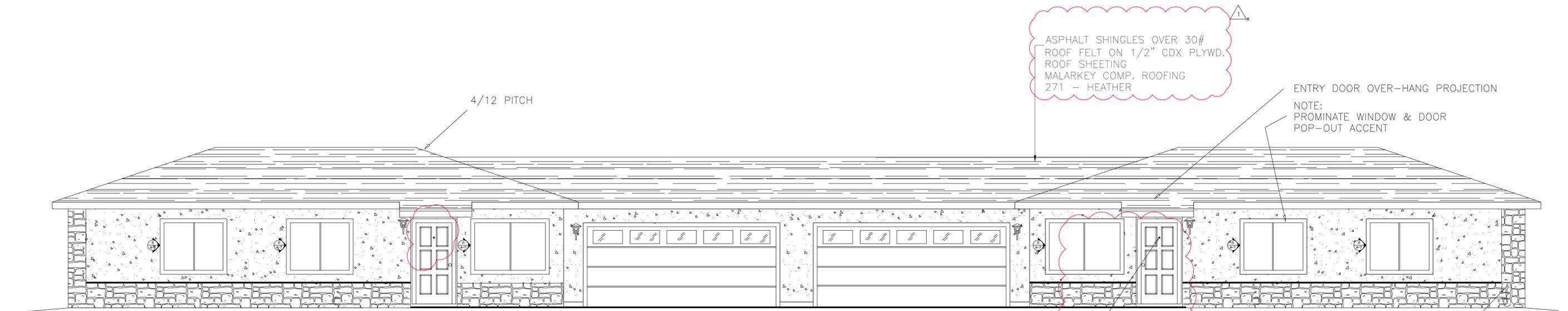
RIGHT ELEVATION
SCALE 1/4"=1'-0"

NOTES:
BUILDING PLANS SHALL COMPLY TO THE 2016 CALIFORNIA BUILDING CODE
TRUSS ROOF PLANS WILL BE ON SITE DURING FRAMING INSPECTION
APPROVED SET OF BUILDING PLANS WILL BE ON SITE DURING CONSTRUCTION
ADDRESS WILL BE POSTED ON SITE DURING CONSTRUCTION

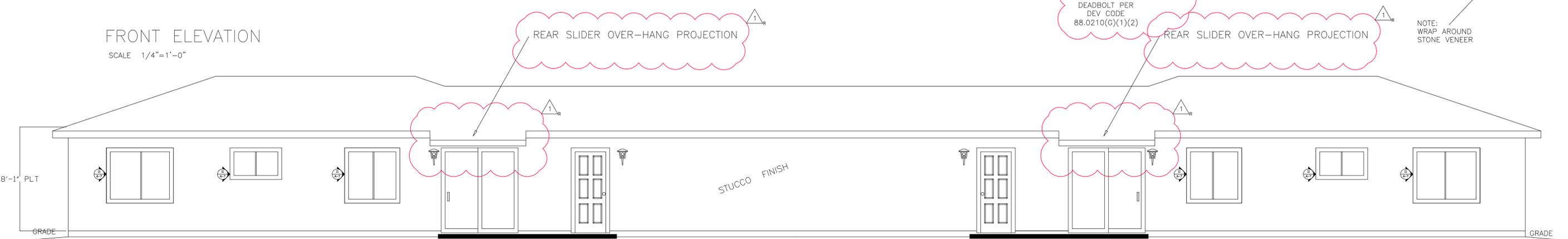
ELEVATIONS

DATE: 5/16/2019	OWNER: RELM INC & MICHAEL NOVAK 1447 FORD ST, #101 REDLANDS, CA 92374	REPRESENTATIVE: SIMMONSBUILT 1025 CALMESA BLVD, #8 CALMESA, CA 92320 (909) 229-1180	A-1
SCALE: AS NOTED			
DESIGNED: DRAWN: EWS			

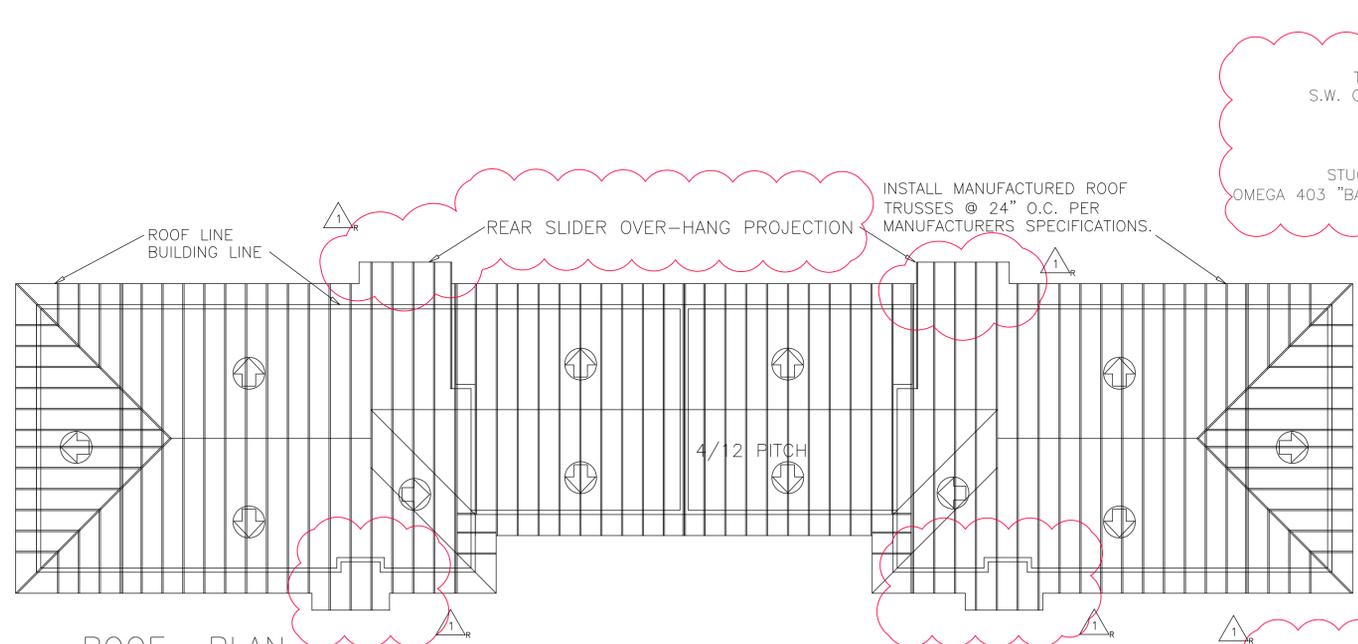
**A.P.N. 0319-161-24
13009 4TH ST
CITY OF YUCAIPA, CALIFORNIA 92399**



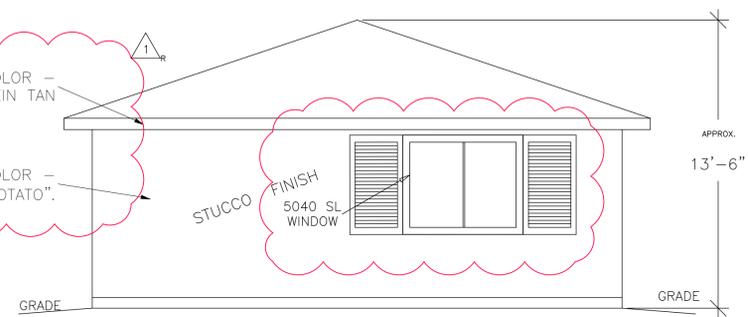
FRONT ELEVATION
SCALE 1/4"=1'-0"



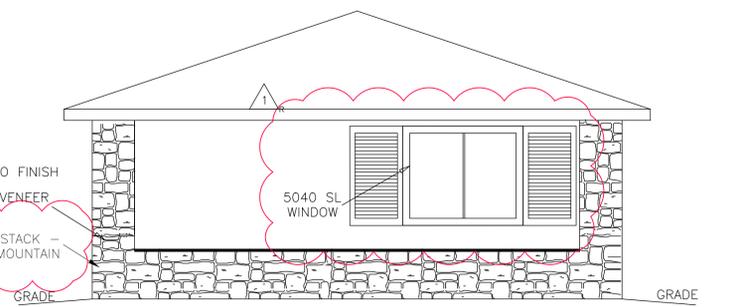
BACK ELEVATION
SCALE 1/4"=1'-0"



ROOF PLAN
SCALE 1/8"=1'-0"



LEFT ELEVATION
SCALE 1/4"=1'-0"



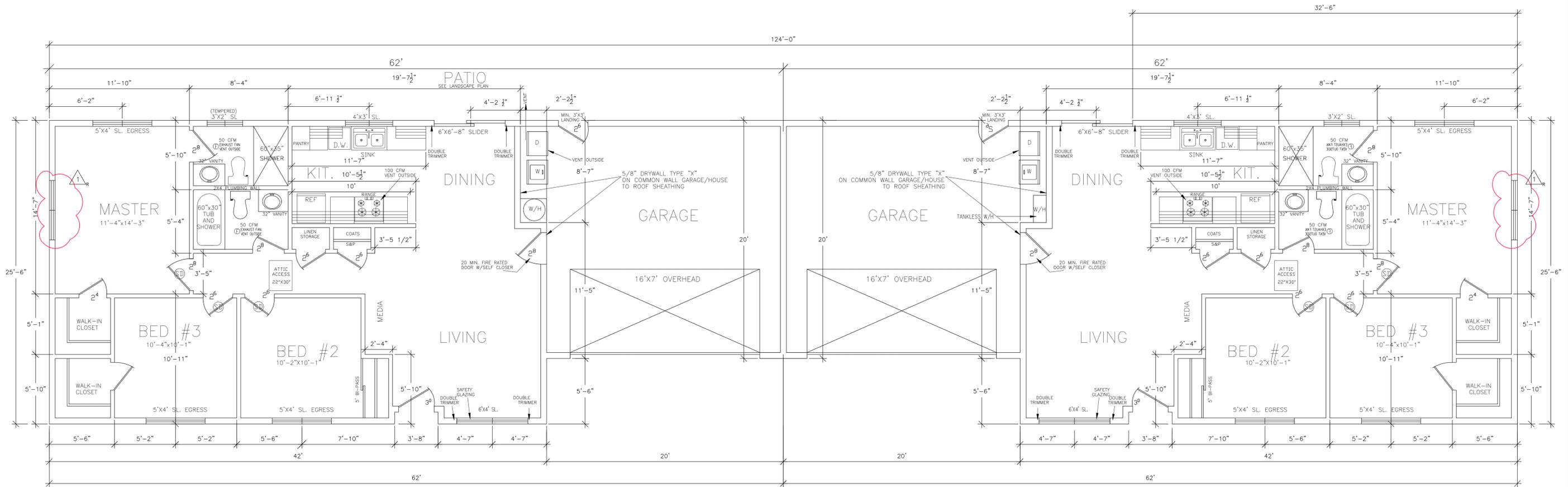
RIGHT ELEVATION
SCALE 1/4"=1'-0"

NOTES:
BUILDING PLANS SHALL COMPLY TO THE 2016 CALIFORNIA BUILDING CODE
TRUSS ROOF PLANS WILL BE ON SITE DURING FRAMING INSPECTION
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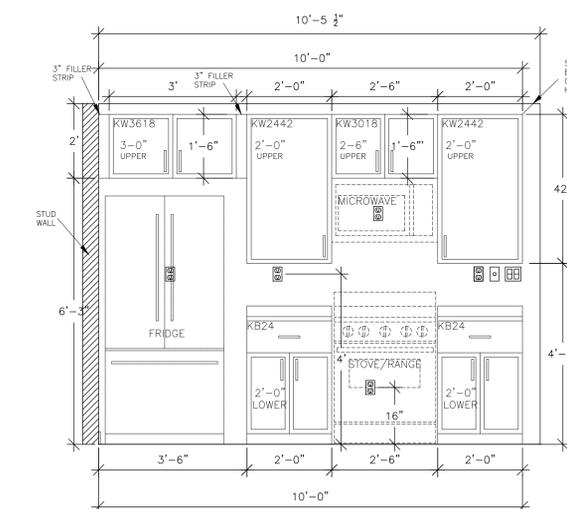
ELEVATIONS

DATE: 5/16/2019	OWNER: RELM INC & MICHAEL NOVAK 1447 FORD ST, #101 REDLANDS, CA 92374	REPRESENTATIVE: SIMMONSBUILT 1025 CALMESA BLVD, #8 CALMESA, CA 92320 (909) 229-1180	A-2
SCALE: AS NOTED	DESIGNED:		
DRAWN: EWS			

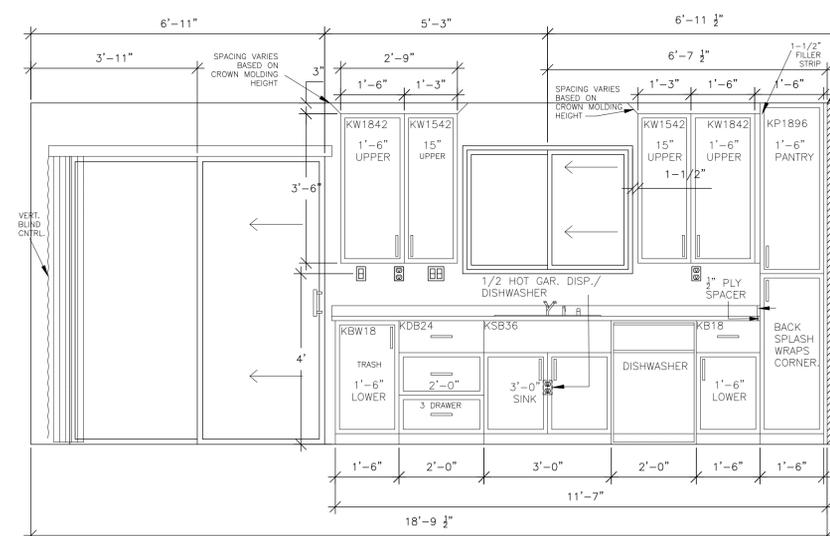
A.P.N. 0319-161-24
13009 4TH ST
CITY OF YUCAIPA, CALIFORNIA 92399



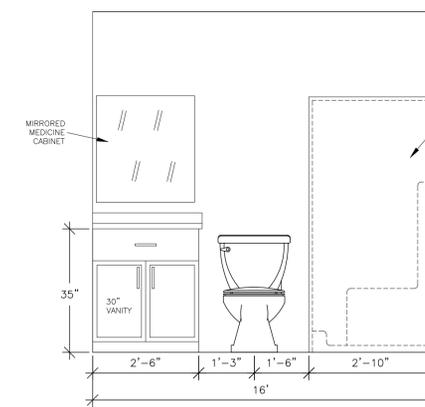
FLOOR PLAN
1050 SQ' EACH SIDE
SCALE 1/4"=1'-0"



A KITCHEN ELEVATION A
SCALE 1/2"=1'-0"



B KITCHEN ELEVATION B
SCALE 1/2"=1'-0"



C MASTER BATH ELEVATION
SCALE 1/2"=1'-0"

CONTRACTOR
HEATING & ELECTRICAL SYSTEMS WILL BE ENGINEERED & DESIGNED BY THE HEATING & ELECTRICAL.
ALL BEARING WALL HEADER SIZES EXTERIOR (2)2X10'S W/2X4 UNDER INTERIOR (2)2X10'S W/2X4 UNDER UNLESS OTHERWISE NOTED.
FIRE STOP ALL SOFFITS AND EACH FLOOR/CEILING LINE PER I.R.C.
SMOKE DETECTORS TO BE INSTALLED IN EACH BEDROOM, HALLWAY, AND NEAR ANY STAIRWAY AND MUST HAVE 110V BATTERY BACKUP (WIRED IN SEQUENCE).
NOTE AND CHECK MECH. CHASE PROVIDE MIN. REQUIRED COMBUSTION AIR AT LOCATIONS OF FUEL BURNING EQUIPMENT PER I.R.C.
VENT ALL FANS DIRECTLY TO THE OUTSIDE -- TERMINATION SHALL BE A MIN. 3" FROM ANY OPENING INTO THE BUILDING.
VENT MATERIALS SHALL BE METAL OR PVC AND SHALL BE EQUIPPED WITH BACK DRAFT DAMPERS.
ATTIC SPACE ACCESS MIN. 22"x30" VENTILATION REQUIRED IN 1 SQ' OF FLOOR PER EVERY 300 SQ' OF ATTIC SPACE AREA.
DRYER VENT SHALL NOT EXCEED A TOTAL OF 14' VERT. AND HORIZ. WITH TWO 90 ELBOWS. FLEX CONNECTOR SHALL NOT EXCEED 6'

DRYER, RANGE, BATH FANS, GAS WATER TANKS TO BE VENTED DIRECTLY OUTSIDE.
SMOKE DETECTORS TO BE INSTALLED IN EACH BEDROOM, HALLWAY, AND NEAR ANY STAIRWAY AND MUST HAVE 110V BATTERY BACKUP (WIRED IN SEQUENCE).
GARAGE DOOR INTO HOUSE-- 20 MIN. FIRE RATED DOOR W/SELF CLOSER.
5/8" DRYWALL TYPE "X" ON COMMON WALL & CEILING FROM GARAGE/HOUSE TO ROOF SHEETING. ALSO 5/8" UNDER ANY STAIRWAY.
BEDROOM WINDOWS MUST MEET EGRESS OF 20" AND HEIGHT OF 24" IN.
CRANK SPACE ACCESS MIN. 18"x24" MAINTAIN MIN. 18" CLEARANCE UNDER FLOOR AREA W/ 6 MIL VAPOR BARRIER GROUND COVER. CRANK SPACE VENTILATION REQUIRED--MIN 1" SQ. OF VENT FOR EVERY 150' SQ. OF CRANK SPACE AREA.
ATTIC SPACE ACCESS MIN. 22"x30" VENTILATION REQUIRED IN 1 SQ' OF FLOOR PER EVERY 300 SQ' OF ATTIC SPACE AREA.

- AMENITIES:**
- AIR CONDITIONING
 - DISHWASHER
 - AUTOMATIC GARAGE DOOR OPENERS
 - OVERSIZED/WALK-IN CLOSETS
 - DECORATIVE FRONT DOORS
 - LARGE CONCRETE PATIOS
 - SEPARATELY FENCED YARDS
 - 4-CAR PARKING CAPACITY

BUILDING PLANS SHALL COMPLY TO THE 2016 EDITION OF CALIFORNIA BUILDING CODE
STACKED ROOF PLANS WILL BE ON SITE DURING FRAMING INSPECTION
APPROVED SET OF BUILDING PLANS WILL BE ON SITE DURING CONSTRUCTION
ADDRESS WILL BE POSTED ON SITE DURING CONSTRUCTION

FLOOR PLAN

DATE: 5/16/2019	OWNER: RELM INC & MICHAEL NOVAK 1447 FORD ST, #101 REDLANDS, CA 92374	REPRESENTATIVE: SIMONSBLIT 1023 CALMESA BLVD, #8 CALMESA, CA 92320 (909) 229-1180	A-3
SCALE: AS NOTED			
DESIGNED: DRAWN: EWS			

A.P.N. 0319-161-24
13009 4TH ST
CITY OF YUCAIPA, CALIFORNIA 92399

**CITY OF YUCAIPA
COMMUNITY DEVELOPMENT DEPARTMENT
AGENDA REPORT**

TO: Honorable Chairman and Planning Commissioners
FROM: Travis Heaps, Assistant Planner 
FOR: Planning Commission Meeting of July 1, 2020
SUBJECT: John Nejad (Case No. 20-026/CUP): A Conditional Use Permit and Architectural Review for the proposed 17-unit multi-family Project that consists of seven (7) duplexes and three (3) detached units on a vacant, residentially-zoned parcel located on the west side of 6th Street between 12782 & 12798 6th Street; APN: 0318-164-21.

RECOMMENDATION:

That the Planning Commission conduct a public hearing; and:

- A) Approve Conditional Use Permit No. 20-026 subject to the Conditions of Approval as contained in this Agenda Report; and
- B) Adopt the Findings as contained in this Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to Section 15332 (Class 32) of the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended; and,
- D) Direct Staff to file a Notice of Exemption.

And then close the public hearing, and then Planning Commission review the proposed architecture and conceptual landscape design, and if it is acceptable, approve the design.

BACKGROUND:

Surrounding Land Uses:

Area Land Use Designations; Improvement Levels; and existing Land Uses:

Site:	RM-72C (Multiple Residential – 7,200 sq. ft. minimum lot size)	IL-1	Vacant
North:	RM-72C	IL-1	Single-Family Residential (SFR)
South:	RM-72C & MHP Overlay District 2	IL-1	SFR & Mobile Home Park (MHP)
East:	RM-72C	IL-1	SFR
West:	RM-72C & MHP Overlay District 2	IL-1	MHP

DISCUSSION:

Location and Setting:

The proposed Project is located on a relatively flat, 1.96-acre, flag-shaped parcel on the west side of 6th Street between 12782 and 12798 6th Street, south of Via Barcelona Road and north of Yucaipa Creek Road. The site is currently an unimproved vacant lot that is generally behind three (3) single-family residences. The subject property is located within, and surrounded by, the RM-72C (Multiple Residential – 7,200 sq. ft. minimum lot size) Land Use District and abuts the Mobile Home Park Overlay District Two (MHP2) to the south and west of the Project site. Surrounding development include single-family residences and two (2) mobile home parks.

Project Design and Description:

Pursuant to Section 84.0330(c) of the Development Code and the General Plan, the maximum housing density permitted within the RM-72C Land Use District is 8.7 dwelling units per acre (du/a). The subject property is 1.96 net-acres in size, and after applying the maximum housing density of 8.7 du/a, 16.86 dwelling units may be permitted. Pursuant to Section 87.0320 of the Development Code, housing density calculations for multiple family projects that result in fractional units of 50% or greater shall be rounded to the next highest number; therefore, the proposed housing density calculation of 16.86 dwelling units may be rounded up for a total of 17 units. The proposed Project consists of a Conditional Use Permit to allow the development of a total of 17 single-story, market rate apartment units that consist of seven (7) duplexes that share a common garage wall, and three (3) detached residential units. Pursuant to Development Code Section 84.0330(b)(1), multiple family projects within the RM Land Use District that consists of five (5) or more dwelling units are subject to review and approval by the Planning Commission at a public hearing through the Conditional Use Permit process.

The Project is proposed to be completed in two (2) phases: infrastructure improvements and dwelling unit Nos. 1-3 & 15-17 will be completed under phase one and unit Nos. 4-17 will be completed under phase two. All units to be constructed will provide a three (3) bedroom, two-and-a-half (2.5) bathroom floorplan that range from 1,068 to 1,090 square feet of habitable living area, and include an attached two (2) car garage as required by Development Code Section 88.0205 for multiple family dwelling units that are two (2) bedrooms or larger.

A Tot Lot enclosed with tubular steel fencing is proposed as a community focal point to serve the residents on-site, and will be located toward the southeast corner of the Project site, directly west of unit one (1). For individual dwelling amenities, each unit is required to provide the amenities listed within Development Code Section 88.0210, Dwelling Size and Amenities. The proposed development will provide each residence with an enclosed private yard that exceeds the City's minimum requirement of 100 square feet. Fencing for the Project includes the utilization of an existing six (6) foot CMU block wall along the shared property line with the mobile home park to the south, a new six (6) decorative foot block wall around the remaining perimeter of the Project, and vinyl fencing between each unit. A retention area is provided along the rear, western property line that will be designed to maintain the site's historical drainage flows, which flow from east-to-west. Concrete V-gutters are proposed along the north and south property lines, and along the access roadway to guide stormwater toward the retention area.

Access to the Project is provided by 25 feet of street frontage along 6th Street, which is a paved two (2) lane collector street with an ultimate right-of-way of 66 feet. The proposed Project would provide the necessary dedication for a 33-foot street half-width. Roadways throughout the Project include a privately maintained internal drive aisle that is designed to be 24 feet wide to allow for two-way traffic. The drive aisle has also been designed to accommodate a fire turnaround and nine (9) guest parking spaces to meet Fire Code and Development Code requirements.

Architecture:

The applicant has submitted an architectural design package and requests Planning Commission approval of the architecture at this time. Each duplex unit is arranged with two different roof variations, either a hip roof (Type "A" Elevation), or a gable roof (Type "B" Elevation). The detached dwelling units are proposed to match the Type "B" Elevation with an open gable roof. Each unit features covered and recessed front door entries with overhang projections, enclosed garages protruding 12 feet past the covered entryway with garage doors that are recessed four (4) inches to provide shadow relief, and stucco siding with stucco pop-out accents along the front and side elevations. Two color palettes are proposed for the Project that differ in stucco and roof shingle colors. Color "1" will feature Santa Fe stucco siding and Flagstone shingles, and color "2" proposes Trabuco stucco siding and Gray shingles. All fascia, trim, and garage doors will be painted white.

Conceptual landscaping is also provided for the Planning Commission's review, and shows the approximate location and types of shrubs, groundcover, and trees to be planted onsite. The landscape palette includes a mixture of drought tolerant trees, shrubs, and ground cover, which will be reviewed as a Condition of Approval by the City's Contract Landscape Architect to verify consistency with the City administrative design guidelines and to ensure that the palette will best perform in Yucaipa's climate zone. In addition, the landscape plans are conditioned to be in conformance with the City's Water Conservation requirements, which will be substantiated during the plan check process.

Consistency with the General Plan and Development Code:

The proposed project consists of 17 apartment units on 1.96 net acres. The proposed Project has the following characteristics:

CRITERIA	REQUIREMENTS	COMPLIANCE WITH GENERAL PLAN AND DEVELOPMENT CODE
Density	8.7 dwelling units per acre. Fractional units of 50% or greater may round up to the nearest whole number.	Yes: Overall density is 8.7 dwelling units per acre ($1.96/8.7 = 16.86$). 16.86 rounded up allows for 17 units.
Setbacks	<ul style="list-style-type: none"> • Front Yard Setback (Single Story): 25 Feet • Side Yard Setbacks (Single Story): 10 Feet • Rear Yard Setbacks: 15 Feet 	Yes: <ul style="list-style-type: none"> • Front Yard Setback: 25 Feet • Side Yard Setbacks: 10 Feet • Rear Yard Setbacks: 18 Feet
Parking	2 enclosed spaces per unit, plus 1 guest space per 2 units.	Yes: 42 spaces are required, and 77 spaces have been provided, including 34 spaces in enclosed garages, 34 in driveways, and 9 spaces within the interior street network.
Open Space	40% of project area to be landscaped.	Yes: Project provides 41% of total site area as private and public open space.
Dwelling Unit Size	Three (3+) bedroom units to have 1,050 square feet minimum living area.	Yes: The proposed units that range from 1,068 to 1,090 square feet of living area.
Amenities	Required site amenities include entry treatment. Each dwelling is required to provide three (3) interior amenities from approved list.	Yes: Project provides public open space that includes a community feature with Tot Lot. Each individual unit provides decorative doors, air conditioners, and automatic garage door openers.

The Project meets or exceeds the City's General Plan and Development Code standards for the above referenced items as well as for access and site design. In addition, the proposed Project supports a number of General Plan policies. These include the following:

- CDL-1.1 Places to Live. Provide sites for a range of housing types, locations, and densities in a variety of neighborhood settings equipped with amenities that support a high quality of life.
- CDL-10.1 Development Review. Implement and adhere to development review procedures and design guidelines in the City of Yucaipa Municipal Code that advance the visual quality of the community.
- CDL-10.5 Private Landscaping and Parks. Require developers to incorporate appropriately sized and drought-tolerant vegetation with sufficient maintenance to provide a mature-

looking landscape in three-five years after installation. Require private recreational facilities in new multifamily housing projects.

- CDL-10.9 Building Materials. Use high-quality, natural building materials that evoke a sense of quality and permanence, such as stucco, plaster, stone, and wood; natural colors and textures are preferred.
- HN-2.1 Balanced Housing Stock. Designate adequate land for a broad range of types of housing, including single-family attached and detached, multiple-family housing, and mixed uses located in accordance with the land use and community design element.
- HN-2.6 Multiple-Family Housing. Encourage the development of higher density housing in the Freeway Corridor, select opportunity sites, and other sites where infrastructure, circulation, and services facilities capable of handling higher density housing is located or planned where full urban services are planned.
- HN-3.1 Design Features. Require new and rehabilitated residential units to be well designed, with appropriate attention to site planning, materials and colors, building treatments, landscaping, open space, parking, and environmentally sustainable practices.

Processing and Procedural Actions:

Notices of the project were sent to all surrounding property owners within a 300-foot radius of the project site and one (1) response was received in favor of the Project. The comment requested the developer to construct street improvements for the Project, which is required as a Condition of Approval to be completed "Prior to the Certificate of Occupancy."

Environmental Review:

The Project site is within a developed portion of the City. Pursuant to Section 15332 of the CEQA Guidelines, this project qualifies for a Class 32 Categorical Exemption. This exemption applies to the proposed Project because it is characterized as in-fill development that is considered to be consistent with the general plan policies and zoning regulations for the RM Land Use District, and is located on a site that is less than five acres that is substantially surrounded by urban uses that has no value as habitat for endangered, rare or threatened species. In addition, the approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality, and the site can be adequately served by all required utilities and public services.

CONCLUSION:

The proposed Conditional Use Permit is generally consistent with the RM-72C Official Land Use District and the General Plan and Development Code standards for the District. The Project meets standards for access, lot size and dimension, and site design. The required findings for approval of the Conditional Use Permit have been made and are attached

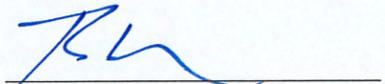
FISCAL IMPACT:

Based on a net total number of 17, three-bedroom residential units on 1.96 acres, the Project can be expected to generate **\$ 258,994.18** in Development Impact Fees, using the current fee schedule, as follows:

Drainage Facilities:	\$26,297.50
Traffic Facilities:	\$146,255.93
Public Facilities:	\$23,994.48
Fire Facilities:	\$13,598.13
Park Facilities:	\$48,848.14
TOTAL:	\$258,994.18

Attachments: Conditional Use Permit Findings
 Land Use District & Location Map
 Site photos
 Conditions of Approval
 Project Notice Comment
 Project Plans

Approved by:

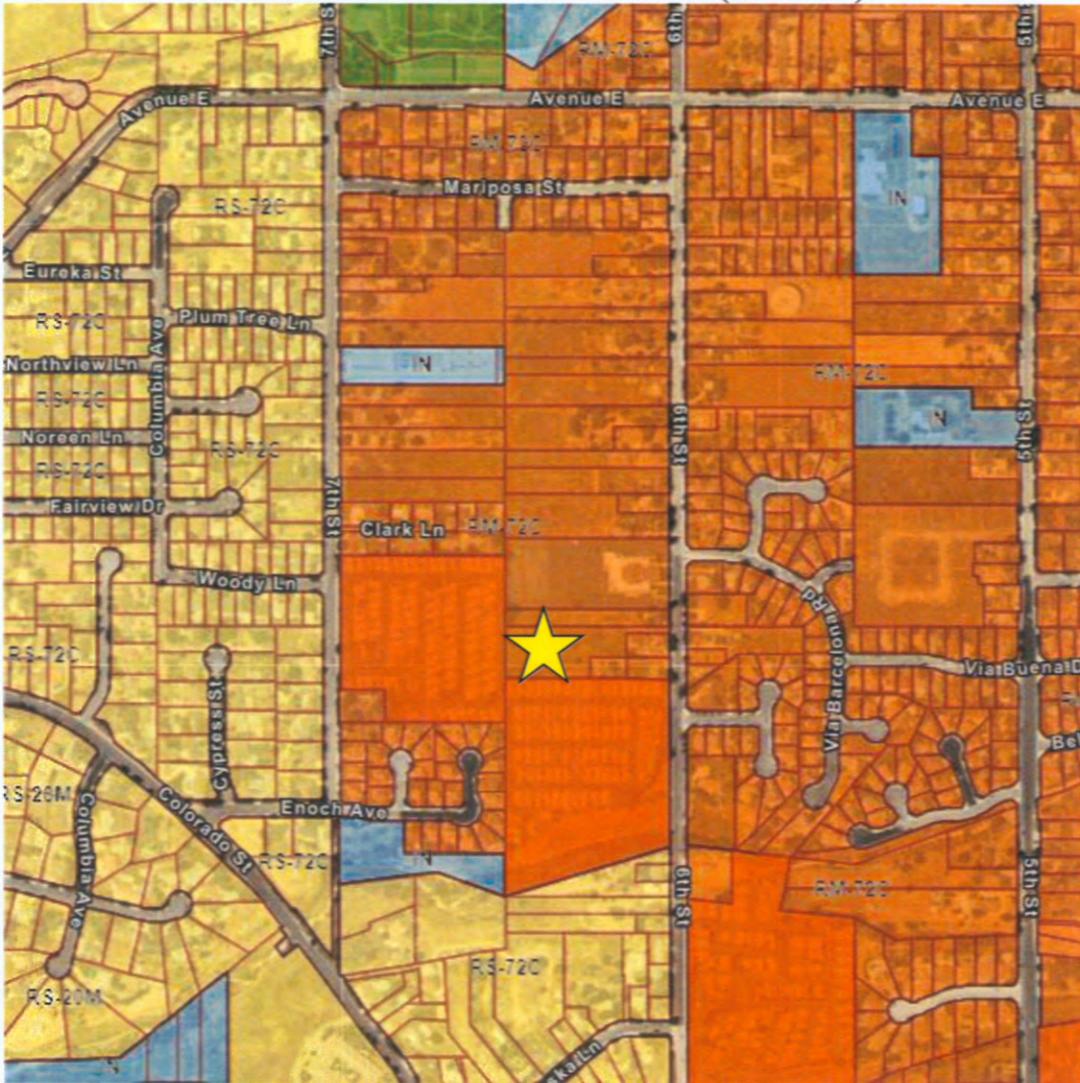


Benjamin Matlock,
City Planner/Planning Manager

FINDINGS: CONDITIONAL USE PERMIT NO. 20-026

1. The proposed project will not have a significant impact on the environment as the Project is characterized as in-fill development that is considered to be consistent with the general plan policies and zoning regulations for the Multiple Residential (RM-72C) Land Use District, and therefore qualifies under the Class 32 Categorical Exemption pursuant to the California Environmental Quality Act.
2. The site for the proposed use is adequate in size and shape to accommodate the proposed use and all yards, open spaces, walls and fences, parking areas, landscaping, and other features pertaining to the application, because the size of the property and RM-72C Land Use District allow for a maximum housing density of 17 units, which has been designed to accommodate the proposed Project and accompanying features.
3. The site for the proposed use has adequate access because the site provides a 24-foot wide internal roadway network utilizing access provided on 6th Street and has been designed to meet applicable City standards.
4. The proposed use will not have a substantial adverse effect on abutting property or permitted use thereof, meaning that the use will not generate excessive noise, vibration, traffic or other disturbance, because these items have been addressed through design considerations and appropriate Conditions of Approval have been included to negate potential adverse impacts. In addition, the use will not substantially interfere with the present or future ability to use Solar energy systems because the buildings are all single story that range in height from 14 feet and four (4) inches to 17 feet and six (6) inches, and therefore, will minimize any potential overshadowing of adjacent properties.
5. The proposed use is consistent with the goals, policies, standards, and maps of the General Plan and any applicable plan, because the proposed use is permitted in the RM-72C Land Use District, subject to the provisions of this Conditional Use Permit, per Yucaipa Development Code Section 84.0330(b)(1).
6. The lawful conditions stated in the approval are deemed necessary to protect the public health, safety, and general welfare, because they ensure adequate circulation, drainage, and compatibility with surrounding land uses.
7. The design of the site has considered the potential for the use of solar energy systems and passive or natural heating and cooling opportunities, because there are no obstructions to the collection of solar energy or the natural movement of wind toward or around surrounding properties.

LAND USE: MULTIPLE RESIDENTIAL (RM-72C)



LOCATION:



SITE PHOTOS:







CONDITIONAL USE PERMIT

ON-GOING CONDITIONS/GENERAL REQUIREMENTS:

PLANNING DIVISION (909) 797-2489 EXT. 224

1. This Conditional Use Permit is for the construction of eight (8) duplexes and one (1) detached unit for a total of 17-multi-family dwelling units on a vacant, residentially zoned parcel located on the west side of 6th Street between 12782 & 12798 6th Street; APN: 0318-164-21. Any alteration or expansion of these facilities, or increase in the developed area of the site from that shown on the approved site plan, may require the submission of a new application or an additional application for Revisions for review and approval.
2. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claim, action or proceeding attacking or seeking to set aside, void or annul the approval of all or part of the matters applied for, or any other claim, action or proceeding relating to or arising out of such approval. This obligation includes the obligation to reimburse the City, its agents, officers and employees for any court costs or attorney fees which the City, its agents, officers, or employees are required by a court to pay as a result of such claim, action or proceeding. The City agrees to notify the applicant of any such claim, action or proceeding promptly after the City becomes aware of it. The City may participate in the defense of the claim, action or proceeding, but such participation will not relieve the applicant of applicant's defense and indemnification obligations, including City expenses.
3. This Conditional Use Permit shall become null and void if all conditions have not been complied with and the occupancy or use of the land has not taken place within three (3) years of the date of approval. One extension of time, not to exceed three (3) years, may be granted upon written request and submittal of the appropriate fee not less than 30 days prior to the date of expiration. **PLEASE NOTE:** this will be the only notice given for the above specified expiration date. **The applicant is responsible for the initiation of an extension request.**
4. A Categorical Exemption is being issued for this project, pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended. The applicant/owner shall deliver a \$50.00 administrative handling fee to the Planning Division within five (5) days after the effective date of conditional approval. **Payments shall be made with a Check, Money Order or Cashier's Check for \$50.00 made payable to the "Clerk of the Board"**. The Planning Division shall then file the Notice of Exemption with the Clerk. Proof of fee payment will be required prior to issuance of building permit.

5. All conditions of this Conditional Use Permit are continuing conditions. Failure of the applicant and/or operator to comply with any or all of said conditions at any time may result in the revocation of the permit granted to use the property.
6. The applicant/owner shall always maintain in good condition all permanent plantings as identified on the approved landscape plan.
7. All new utility lines shall be placed underground. Existing overhead distribution lines shall be placed underground when four (4) or more utility poles on the same street are located on or adjacent to the project site.
8. Mail delivery shall be by neighborhood boxes or other delivery as approved by the U.S. Postal Service.
9. All signs proposed by this project may only be lit by steady, stationary, shielded light directed at the sign, by light inside the sign, by direct stationary neon lighting or by an alternating lighting system that changes no more than once per hour. The glare from the luminous source shall not exceed one-half (0.5) foot candle.
10. Parking and on-site circulation requirements shall always be maintained.
 - A. All markings to include parking spaces, directional designations, "No Parking" designations, and "Fire Lane" designations shall be clearly defined and said markings shall be maintained in good condition at all times.
 - B. Parking and site circulation surfaces (City Road Specification #39) shall be maintained in good condition at all times.
11. Noise levels shall not exceed City Standards as required by Development Code Section 87.0905(b).
12. All refuse generated at the premises shall at all times be stored in approved containers and shall be placed in a manner so that visual and public health nuisances are minimized.
13. All refuse containing garbage shall be removed from the premises at least two times per week in conformance with Municipal Code Section 8.24.030(B).
14. The applicant shall implement the approved "Solid Waste Recycling Plan" for any new commercial, industrial, or institutional uses located on the property. The developer and all occupants of the property shall make a good faith effort to fully comply with each component of the approved Plan. Any proposed revision to this Plan shall be subject to the review and approval of Yucaipa Disposal, Inc. (909) 797-9125.
15. The project site shall remain in full compliance with all City Sign Regulations at all times.

16. The applicant/property owner shall be required to apply an anti-graffiti coating, and/or provide a landscape design of a type and nature that is acceptable to the City Planner, to each of the publicly viewable surfaces deemed by the City Planner to be likely to attract graffiti.
17. The applicant/property owner, and any and all successors in interest, shall for ten (10) years after the issuance of a Certificate of Occupancy, provide the City with sufficient matching paint and/or anti-graffiti coating on demand for use in the painting over or removal of graffiti from any designated graffiti attracting surfaces.

ENGINEERING DIVISION (909) 797-2489 EXT. 228

18. Submit WQMP Plan for Approval.
19. Applicant shall demonstrate that the site does not create concentrated discharges to adjacent properties and/or public right-of-way in excess of historical flows. If project does create concentrated or sheet flows off-site that are greater than historical, the applicant shall demonstrate that the downstream facilities can accommodate flows; otherwise, applicant shall provide on-site detention for excess flows in accordance with the approved WQMP.
20. Road sections within and/or bordering the project shall be designed and constructed with curbs, gutters, and sidewalks to City Road Standards, and in accordance with the General Plan Circulation Element.
21. A thirty-five (35) foot radius of return grant of easement is required for rounding the corner of intersecting roads when the half-width right-of-way of any intersecting road is forty (40) feet or greater. A twenty (20) foot radius of return grant of easement is required for rounding the corners of intersecting roads if the half-width right-of-way of all intersecting roads is less than forty (40) feet.
22. Continuous water spraying or other approved methods must be used during grading operations to control fugitive dust.

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

23. This project is protected by the Yucaipa Fire Department/California Department of Forestry and Fire Protection. Prior to any construction occurring on any parcel, the applicant shall contact the Fire Marshall for verification of current fire protection development requirements. All new construction shall comply with the adopted Uniform Fire Code and all applicable statutes, codes, ordinances, standards and policies of the Yucaipa Fire Department/CDF.
24. Fire Department access roads and/or public/private streets and residential driveways shall have a minimum vertical clearance of thirteen (13) feet and six (6) inches.

25. Fire Department access roadways and/or public/private streets and driveways shall not exceed 12% grade (please note: Engineering Division requirements may be more restrictive).
26. Required fire flow for this project, as determined by I.S.O. Formula, is as follows: gpm = 1,500, at 20 psi residual; for 2 hour duration. System shall be looped with minimum eight (8) inch mains; six (6) inch laterals; six (6) inch risers; six (6) inch diameter hydrants with one 2 ½" outlet and one 4" outlet.
27. Approved fire hydrants capable of supplying required fire flow shall be provided to all premises upon which facilities, buildings or portions of buildings are constructed or moved within the jurisdiction. When any portion of the facility or building protected is in excess of 400 feet from a fire hydrant on a public street, as measured by an approved route around the exterior of the facility or building, additional fire hydrants meeting the required fire flow shall be provided.
28. Fire hydrants shall be installed at locations to be determined by the California Fire Code Appendix "C". Required fire flow to be determined by the California Fire Code Appendix "B". Minimum fire flow shall not be less than 1500 gpm.
29. Residential automatic fire sprinklers shall be installed according to NFPA 13D and fire department requirements. Submit two (2) set of shop plans with material cut sheets and hydraulic calculations for fire department review and approval prior to any installation. Submit copy of California C-16 license.

Minimum water meter supplying a 13D system shall be 1" minimum pipe size for interior use shall be 1" residential sprinkler heads of proper temperature rating shall be installed in attic and built-up storage spaces where mechanical equipment (FAU, etc.) Is installed.

THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A GRADING PERMIT:

PLANNING DIVISION (909) 797-2489 EXT. 224

30. Grading permits shall not be issued for any areas to be graded and remain undeveloped until a revegetation plan is approved by the Planning Division, and until bonds are posted for revegetation.
31. Prior to grading, arrangements acceptable to the County Museum shall be made to have present during grading a qualified vertebrate paleontologist to monitor in the event paleontological resources are encountered during rough grading. The monitor shall have the authority to temporarily suspend grading operations in the vicinity of such resources until they have been evaluated and appropriate data recovery measures implemented. The results of the monitoring shall be documented in writing and submitted to the County Museum for review prior to

issuance of building permits. For more information, contact the County Museum at 909-307-2669.

32. No archaeological work is required; however, if prehistoric or historic artifacts over 50 years of age are encountered during land modification, then activities in the immediate area of the finds shall be halted and an on-site inspection performed by a qualified archaeologist, to assess the find, determine its significance, and make recommendations for appropriate mitigation measures. For more information, contact the County Museum at 909-307-2669. If human remains are encountered on the property, then the San Bernardino County Coroner's Office **MUST** be contacted within 24 hours of the find, and all work halted until a clearance is given by that office and any other involved agencies. Contact the County Coroner at 175 South Lena Road, San Bernardino, CA 92415-0037 or (909) 387-2543.

BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 225

33. The site shall be developed in compliance with all current model codes in effect at the time of building permit submittal. All plans shall be designed in compliance with the latest editions of the California Building Codes as adopted by the City of Yucaipa.
34. Separate submittals and permits are required for all accessory structures such as but not limited to, trash enclosures, patios, block walls and storage buildings.
35. Pursuant to California Business and Professions Code Section 6737, this project is required to be designed by a California licensed architect or engineer. Based on change of use and potential exiting and fire life safety improvements.

ENGINEERING DIVISION (909) 797-2489 EXT. 228

36. Applicant shall submit a Notice of Intent and comply with the requirements of the General Construction Activity Storm Water Permit from the State Water Resources Control Board if the project site is 1 acre or greater. In addition, the Storm Water Pollution Prevention Plan (SWPPP) is required to be submitted to the City Engineer for review and approval.
37. Groundwater pollution from urban run-off water generated by the project shall be mitigated using various structural and non-structural best management practices (BMPs), per the requirements of the California Regional Water Quality Control Board, Santa Ana Region and/or as indicated in the "New Development/Redevelopment Guidelines." All provisions of the Water Quality Management Plan (WQMP) consistent with the 2010 MS4 permit and most recent regulatory mandates shall be met.
38. The applicant shall provide documentation indicating that the WQMP, grading plan, erosion control plan and landscape plan are consistent with each other. The

documentation shall indicate that each document has been reviewed by the applicant for consistency.

39. The applicant's plans indicate approximately 58.95% of the site to be improved with impervious surfaces. Design features shall be included to direct storm water run-off flows into landscaped pervious areas before any run-off flows into public rights-of-way.
40. In addition to the drainage, traffic related, or other requirements stated herein, other "on-site" or "off-site" improvements may be required which cannot be determined from tentative plans at this time and would have to be reviewed after more complete improvement plans and profiles have been submitted to the City Engineer.
41. A thorough evaluation of the structural road section, to include parkway improvements, from a qualified materials engineer, shall be submitted to the Engineering Division.
42. Existing City roads which will require reconstruction shall remain open for traffic at all times, with adequate detours, during actual construction. A cash deposit may be required to cover the cost of grading and paving. Upon completion of the grading and paving to the satisfaction of the Engineering Division, the cash deposit will be refunded.
43. A topographic map shall be provided to facilitate the design and review of necessary drainage facilities at the time the site is developed.
44. Additional three (3) foot dedication is required to provide for a 33 foot half-width right-of-way. A copy of the Grant Deed for all properties affected by this requirement must be submitted to the City Engineer prior to document preparation.
45. 6th street shall be designed as water-carrying street and its water carrying capacity shall be maintained.

THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A BUILDING PERMIT:

PLANNING DIVISION (909) 797-2489 EXT. 224

46. The enrollment of the Yucaipa Joint Unified School District is severely impacted by new development. To mitigate the impact of this project, developer shall pay such taxes as are required by the Yucaipa Joint Unified School District Community Facilities District No. 1, and any other fees assessed by Government Code Section 53080, and 65995-65997.

47. The City of Yucaipa has implemented development impact fees for various infrastructure and capital facilities needs generated by new development. These fees will provide for various capital facilities including, but not limited to, roads, parks, flood control and drainage, public facilities, and fire fighting facilities. This project shall be subject to all such development impact fees which are in effect at the time building permits are issued.
48. The applicant/owner shall process a Condition Compliance Review through the City for verification of conditions prior to the issuance of building permits.
49. Water and sewer service shall be by Yucaipa Valley Water District. The Yucaipa Valley Water District letter dated January 23, 2020 is included as a Condition of Approval. Submit evidence of service to Building and Safety at time of Condition Compliance review.
50. Verification of application for sign registration and plot plan approval by the Planning Division must be submitted prior to the issuance of a building permit for the installation, wiring, remodeling or reconstruction of any sign or portion thereof which requires a building permit.
51. The applicant shall submit a "Solid Waste Recycling Plan" for review and approval. This Plan shall address two (2) principal recycling programs: 1) the recycling of construction waste/debris during the demolition and/or development phase of the project, and 2) the recycling of the solid waste that is generated daily by each proposed use during the operational phase of the project. The construction waste component shall include: complete information on the individual or firm that will be responsible for implementing the recycling plan; complete information on all proposed recycling facilities that will receive waste products; and estimates of the volume or weight of each type of material that will be recycled. The operational waste component shall include: complete information on the location, access, sizes, and numbers of solid waste and recycling bins needed to serve each proposed use that is located within the project. For information on the types of waste disposal services that are available, you may contact Yucaipa Disposal, Inc. at (909) 797-9125 for assistance.
52. Proof of fee payment of Fish and Game fees and/or County Administrative handling fees pursuant to California State Assembly Bill 3158 shall be submitted.
53. Provide detailed building elevations including materials, finishes, colors, and signage for all buildings for Planning Division review and approval prior to issuance of building permits. Building elevations shall be consistent with those approved by the Planning Commission.
54. The applicant/property owner shall grant to the City, in writing, the irrevocable right of entry over, and access to, such property, upon twenty-four (24) hours' posted notice, by authorized City employees or agents, for the purpose of removing or painting over graffiti on any designated graffiti attracting surfaces.

55. Project shall comply with Chapter 2, Multiple Residential Design Standards, of the Development Code.

BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 225

56. The site shall be developed in compliance with all current model codes in effect at the time of building permit submittal. All plans shall be designed in compliance with the latest editions of the California Building Codes as adopted by the City of Yucaipa.
57. The building(s) shall comply with all structural and non-structural provisions of the California Building Code.
58. Separate submittals and permits are required for all accessory structures such as but not limited to, trash enclosures, patios, block walls and storage buildings.
59. Pursuant to California Business and Professions Code Section 6737, this project is required to be designed by a California licensed architect or engineer.
60. Three copies of a Landscape Documentation Package shall be submitted for Building & Safety Division review and approval. Said Landscape Documentation Package shall be consistent with the requirements of Chapter 4, of Division 10, of the Development Code and include all of the following elements:
- A. Project Information
- (1) Date
 - (2) Project Applicant
 - (3) Project Address (if available, parcel and/or lot number(s))
 - (4) Total Landscape Area (square feet)
 - (5) Project Type (e.g., new, rehabilitated, public, private, cemetery, homeowner-installed)
 - (6) Water Supply Type (e.g., potable, recycled, well) and identify the local retail water purveyor if the applicant is not served by a private well
 - (7) Checklist of All Documents in Landscape Documentation Package
 - (8) Project Contacts (to include contact information for the project applicant and property owner)

- (9) Applicant Signature and Date (with statement, "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package").
- (B) Water Efficient Landscape Worksheet
 - (1) Hydrozone Information Table
 - (2) Water Budget Calculations
 - (I) Maximum Applied Water Allowance (MAWA)
 - (II) Estimated Total Water Use (ETWU)
- (C) Soil Management Report
- (D) Landscape Design Plan
- (E) Irrigation Design Plan
- (F) Grading Design Plan
- (G) Certification of Substantial Completion (to be submitted after installation of the project).

A copy of the approved Landscape Documentation Package shall be provided to the property owner or site manager along with the record drawings and any other information normally forwarded to the property owner or site manager. A copy of the Water Conservation Concept Statement and the Certificate of Substantial Completion shall be sent by the project manager to the local retail water purveyor.

61. Three (3) copies of a landscape and irrigation plan prepared by a Registered Landscape Architect for the planting (drought tolerant landscaping shall be utilized to minimize water consumption) and permanent irrigation system for the development, including setback areas and parkways, shall be submitted to the Building & Safety Division for review and approval. Said plans must be consistent with the City of Yucaipa Landscape Design and Installation Guidelines and include the following details:
- A. Voltage boxes, mailboxes, trash enclosures, maintenance structures, backflow devices, automatic controls, air conditioning/heating units, etc., to be shown on the plan and screened with landscaping and/or decorative fencing/trim.
 - B. A permanent automatically-controlled irrigation system.

- C. Landscaping shall consist of drought tolerant vegetation appropriate to the local climate. Trees, shrubs and ground covers in the following quantities shall be required as follows:
1. Tree planting (15 gallon size):
 - a. 1 for each 600 sq. ft. of total landscaped area (one required, minimum);
 - b. 80% of total trees required to be 15 gallon;
 - c. 1 for every 12 parking stalls;
 2. 24 to 96 inch box trees:
 - a. 20% of total trees required (one required, minimum).
 3. Tree Spacing/location:
 - a. small trees: 20 feet O.C. max.;
 - b. large trees: 30 feet O.C. max.;
 - c. street trees: 15 gal. min./30 feet O.C. max.;
 - d. min. 6 feet from curbs, paving and sidewalks; trees in parkway between sidewalk and curb shall be provided with a linear root barrier.
 4. 5 gallon shrubs:
 - a. 60% of total shrubs required to be 5 gallon;
 - b. 10 for each 300 sq. ft. of landscaped area.
 5. 1 gallon shrubs:
 - a. 40% of total shrubs required.
 6. Ground Cover:
 - a. Drought tolerant adapted when mature, or native;
 - b. Maximum spacing: 12 inches O.C., or as suitable for planting material;
 - c. Hydroseeding (establish recommended mixture); specify weight or volume per unit area.
- D. Parking/vehicular circulation areas screened with landscaped berms adjacent to streets.

- E. Landscape detail of trash enclosures, to be located within 200 ft. of building pad.
- F. All walls and fences shall be shown, at the top of slope (if applicable), with the style, design, materials, and colors indicated.
- G. Design features to direct storm water run-off into landscaped pervious areas to achieve percolation into the ground before run-off flows reach the public right-of-way of 4th Street.
- H. Detector-check valve assembly screening and camouflage, which shall include landscaped berms and/or depressions, shrub screening, and the painting of the equipment to match the landscaping. The height of the equipment shall not exceed the minimum ground clearance established by the applicable code. It is not permitted to be located within the front yard building setback area, unless otherwise approved by City Inspector.

ENGINEERING DIVISION (909) 797-2489 EXT. 228

- 62. Submit engineered road improvement plans to the City Engineer.
- 63. The WQMP shall be approved and the developer shall provide a financial mechanism for the maintenance of the detention basins which shall be set in place and approved by the City Engineer. The WQMP maintenance agreement shall be executed and recorded by the applicant.

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

- 64. Applicant-developer shall provide the Fire Department with a letter from the water company serving the project-development, verifying that financial arrangements have been made and bonds posted for the required Fire Department approved water improvements.
- 65. A fuel break of one hundred (100) feet (brush and weed clearance) is required prior to construction. The clearance shall be maintained on a year-round basis.
- 66. Fire hydrants shall be installed and operational as per approved water system delivery plans prior to any framing, construction, or delivery of combustible materials to project site.

SUBJECT PROPERTY SHALL NOT BE OCCUPIED AND/OR USED FOR PURPOSES APPLIED FOR UNTIL THE FOLLOWING CONDITIONS HAVE BEEN MET:

PLANNING DIVISION (909) 797-2489 EXT. 224

67. Parking and on-site circulation requirements shall be provided for as identified on the approved site plan.
68. All access drives and parking areas shall be surfaced with a minimum of 2 inches of asphalt concrete surfacing, City Road Specification No. 39, which shall be appropriately striped to accommodate safe vehicular circulation.
69. All access drives shall be a minimum of 24 feet wide to facilitate two-way traffic.
70. Any lights used to illuminate the site shall be hooded and designed so as to reflect away from adjoining properties and public thoroughfares.
71. All landscaping and irrigation shown on the approved landscape and irrigation plans and all required walls shall be completed. Trees in the parkway between sidewalk and curb/gutter shall be provided with a linear root barrier. Provide the City with a Certificate of Substantial Completion from the certified professional that prepared the approved landscape and irrigation plans.
72. All roof top mechanical equipment is to be screened from ground vistas.

BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 225

73. The site shall be developed in compliance with all current model codes in effect at the time of building permit submittal. All plans shall be designed in compliance with the latest editions of the California Building Codes as adopted by the City of Yucaipa.
74. Separate submittals and permits are required for all accessory structures such as but not limited to, trash enclosures, patios, block walls, and storage buildings.
75. Pursuant to California Business and Professions Code Section 6737, this project is required to be designed by a California licensed architect or engineer. Based on change of use and potential exiting and fire life safety improvements.

ENGINEERING DIVISION (909) 797-2489 EXT. 228

76. Construct curb and gutter (with match-up paving) 22 feet from centerline.
77. Construct sidewalk adjacent to site with landscaped parkway.
78. Construct 24-foot wide paved road section to nearest maintained road.

79. Construct driveway approach/entrance. Commercial driveways require radius type approaches.
80. Developer shall be required to place construction traffic control in public right-of-way during the construction of off-site improvements. Traffic control devices shall be maintained 24 hours a day 7 days a week as directed by the City Engineer.
81. The Applicant shall provide written documentation that the WQMP is consistent with the BPMs shown on the as-built grading plans and landscape plans. In case of inconsistency, the Applicant shall revise the WQMP to match the as-built plans.

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

82. Residential driveways shall be paved (asphalt/concrete) and shall have a minimum width of twelve (12) feet. Driveways of this standard shall serve no more than two single family dwellings and shall not exceed 12% in grade.
83. Fire Department access roadways and/or public/private streets exceeding one hundred fifty (150) feet in length shall have a Fire Department approved turn-around at the terminus (cul-de-sac). Minimum radius shall be not less than 40 feet.
84. Driveways exceeding 150 feet shall have a Fire Department approved turn-around at the terminus (hammer-head tee).
85. Fire Department access roadways and/or public/private streets and driveways shall extend to within one hundred fifty (150) feet of and shall give reasonable access to all portions of the exterior walls of the first story of any building. An access road, approved by the Fire Department, shall be provided to within fifty (50) feet of all structures when the natural grade between access road and structure is in excess of 30%. Where an approved access road cannot be provided, a fire protection system shall be required and approved by the Fire Department.
86. Manual operated gates across Fire Department access roadways, public and/or private streets and driveways, shall be equipped with approved emergency key-operated ("Knox" type) locks. For automatic gates, a "Knox" keyed emergency access switch shall be installed at location determined by Fire Department, and shall over-ride all command functions and open gate automatically upon activation. All automatic gates shall have a manual over-ride for use during loss of electric power. "Knox box" request forms are available from the Fire Department.
87. Address numbers shall be placed on all new and existing residential structures in such a manner as to be plainly visible and legible from the access roadway or street. Single family dwellings shall have numbers of 4" height, 3/8" stroke on contrasting background. Address numbers shall be low voltage, automatically electrically illuminated. Where structure setback exceeds one hundred (100) feet from the access roadway or street, additional non-illuminated numbers 4" in height,

- 3/8" stroke, on contrasting background shall be displayed at property access entrance.
88. Approved fire hydrant pavement markers shall be installed.
 89. Smoke detectors, hard wired with battery back-up, shall be installed in all sleeping areas and in all hallways leading to sleeping areas. Smoke detectors shall be installed at the top of all stairways.
 90. Carbon Monoxide detectors shall be installed pursuant to manufacture specifications.
 91. For each chimney used in conjunction with any fireplace or heating appliance in which solid or liquid fuel is used, an approved spark arrester shall be installed and visible from the ground. Spark arrester shall be of stainless steel, copper or brass, woven galvanized wire mesh, twelve (12) gauge, and minimum of 3/8" to 1/2" maximum openings.
 92. A class "A" roof covering structure with "bird stops" shall be installed.
 93. The main electrical panel and all sub-panels shall be labeled on inside cover for all circuits.

CITY OF YUCAIPA PLANNING DIVISION
PROJECT NOTICE

DATE: April 11, 2020

CASE NUMBER: PL20200000026

APPLICANT: John Nejad

PROPOSAL: A Conditional Use Permit to construct eight (8) duplexes and one (1) detached condominium for a total of 17 multi-family dwelling units on a vacant, residentially-zoned parcel located on the west side of 6th Street between 12782 & 12798 6th Street.

LOCATION: W. 6TH ST, between 12782 & 12798 6th Street, APN 0318-164-21;

ATTENTION PROPERTY OWNERS AND REVIEWING AGENCIES: The development proposal listed above has been filed with the City Planning Division. You are invited to comment because your property is near the proposed project. Your comments must be received by this office no later than April 27, 2020. Comments received after this date might not be considered in the decision. Please refer to this project by the applicant's name and case number indicated above. If you have no comment, no reply is necessary. If you have any questions regarding this proposal, please contact Travis Heaps at (909) 797-2489, ext. 250. You may send your comments to the City of Yucaipa Planning Division, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, or via FAX to (909) 790-9203.

If you want to be notified of the project decision, print your name clearly and legibly on this form and mail it to the address above along with a self-addressed, stamped envelope. All decisions are subject to an appeal period of ten (10) calendar days after an action is taken.

COMMENTS (If you need additional space, please attach additional pages):

See attached letter.

SIGNATURE *D. Steven Heckman* DATE 4/20/20 AGENCY self
PRINT NAME D. Steven Heckman ADDRESS 12810 Yucaipa Creek Pl, 92399

IF YOU CHALLENGE ANY DECISION REGARDING THE ABOVE PROPOSAL IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED IN WRITTEN CORRESPONDENCE DELIVERED TO THE PLANNING DIVISION AT, OR PRIOR TO, THE TIME IT MAKES ITS DECISION ON THE PROPOSAL OR, IF A PUBLIC HEARING IS HELD ON THE PROPOSAL, YOU OR SOMEONE ELSE MUST HAVE RAISED THOSE ISSUES AT THE PUBLIC HEARING OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE HEARING BODY AT, OR PRIOR TO, THE HEARING.

DUE TO TIME CONSTRAINTS AND THE NUMBER OF PERSONS WISHING TO GIVE ORAL TESTIMONY, TIME RESTRICTIONS MAY BE PLACED ON ORAL TESTIMONY AT ANY PUBLIC HEARING ABOUT THIS PROPOSAL. YOU MAY WISH TO MAKE YOUR COMMENTS IN WRITING TO ASSURE THAT YOU ARE ABLE TO EXPRESS YOURSELF ADEQUATELY.

cc: Surrounding Property Owners
Fire Department
Building & Safety Division

Yucaipa Valley Water District
Engineering Division

To:

Travis Heaps
City of Yucaipa Planning Division
34272 Yucaipa Boulevard
Yucaipa CA 92399

RE: Project Notice, Conditional Use Permit, 6th Street, AP 0318-164-21

It is apparent from San Bernardino County Assessor Parcel Map 031816 that in the past either the county or the City of Yucaipa has required 6th Street adjoining landowners to dedicate portions of their land to a 66-foot total-width 6th Street right of way. It is also apparent from same map that at an earlier time government had only required a 60-foot total-width 6th Street right of way. Same map shows that only a 30-foot half-width 6th Street right of way adjoins Assessor Parcel 0318-164-21.

Undoubtedly at various stages of land development, pursuant to law and the City of Yucaipa General Plan, that City customarily charges various standard fees of landowners developing their lands, said fees for the purpose of mitigating the impacts of the development upon the community and environment. Perhaps earlier stages of development approval have already been completed, but perhaps with waiver of some customary standard fees.

Undoubtedly City also customarily requires landowners to construct improvements to the public street where it adjoins the landowner's property, as well as perhaps within the existing right of way adjacent to the landowner's property, improvements such as curb, gutter and sidewalk.

So long as the APN 0318-164-21 landowner (or developer) does the following three general things, then I have no objection to the issuance of the Conditional Use Permit, otherwise I do object.

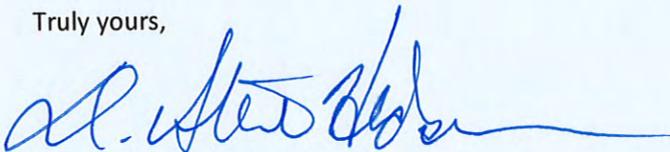
First, that the landowner dedicates to the public or an agency of the People, such as the City of Yucaipa, the land necessary to yield a 33-foot westerly half-width 6th Street right of way, apparently a dedication of 3 feet of width, as the other 6th Street adjoining property owners have been required to do.

Second, that landowner has paid or does pay to City, or other agents of the People as appropriate, all customary standard fees, including any fees that may have been waived at any earlier stages of development.

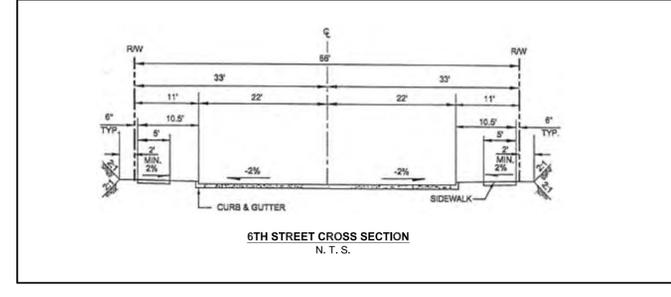
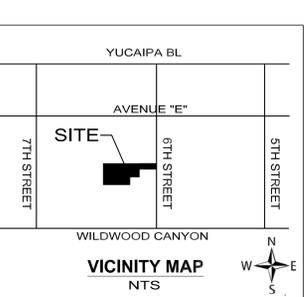
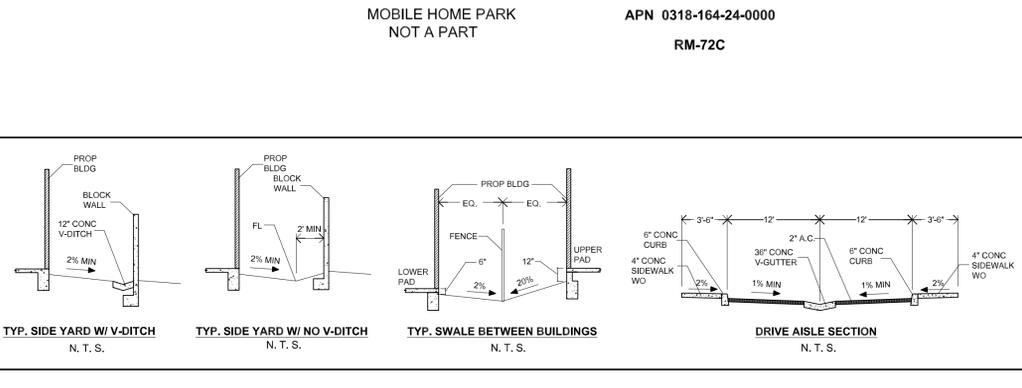
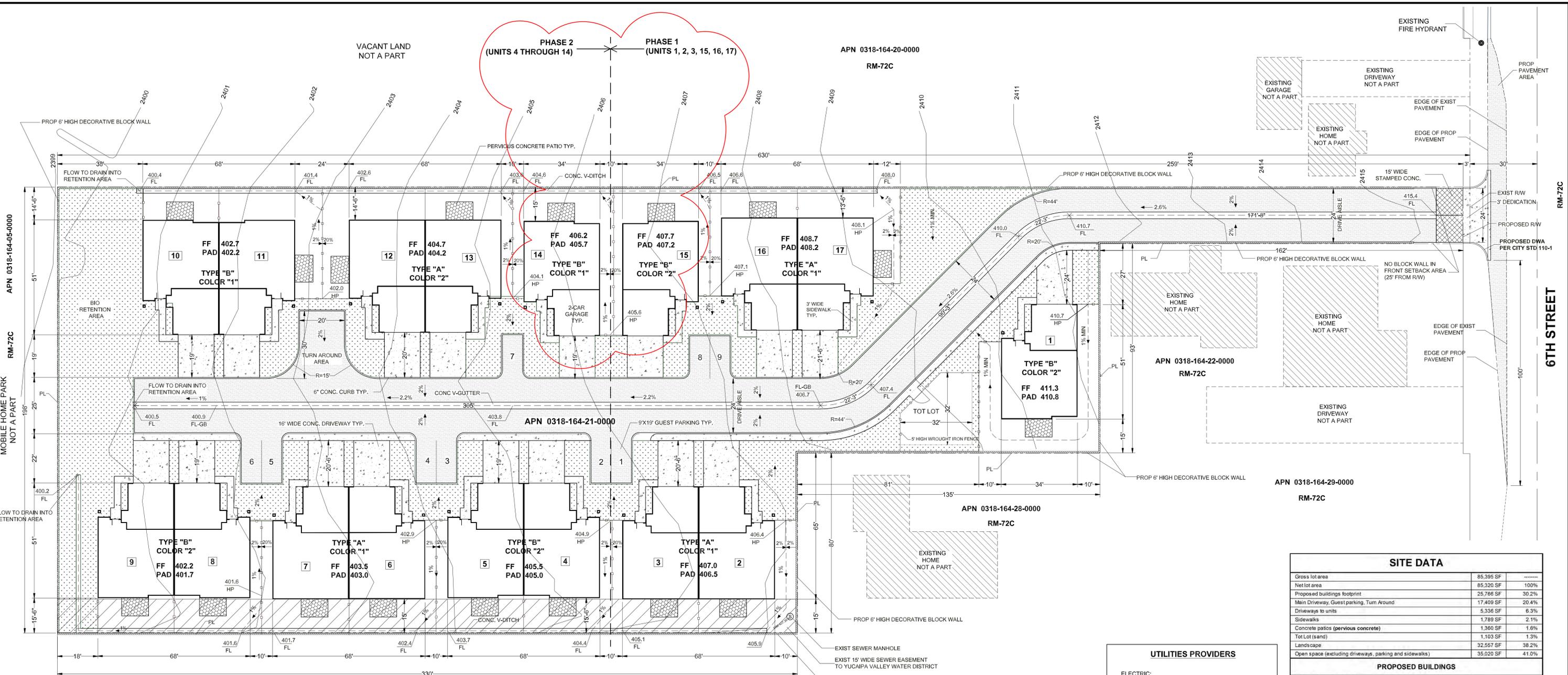
Third, that landowner improve the 6th Street right of way, existing and dedicated by landowner, to current standards pursuant to the Americans with Disabilities Act, California law, and any pertinent City of Yucaipa standards.

Thank you for your time and consideration. I wish Mr. Nejad success with his project.

Truly yours,



D. Steven Heckman
12810 Yucaipa Creek Pl.
Yucaipa CA 92399



ABBREVIATIONS:

AC	ASPHALT CONCRETE
BLDG	BUILDING
CONC	CONCRETE
DW	DRIVE WAY
DWA	DRIVE WAY APPROACH
(E)	EXISTING
FF	FINISHED FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
GB	GRADE BREAK
HP	HIGH POINT
NAP	NOT A PART
NTS	NOT TO SCALE
PL	PROPERTY LINE
POS	PRIVATE OPEN SPACE
PROP	PROPOSED
R	RADIUS
RW	RIGHT OF WAY
SF	SQUARE FEET
STD	STANDARD
SW	SIDEWALK
TC	TOP OF CURB
TE	TRASH ENCLOSURE TO BE REMOVED
TBR	TYPICAL
TYP	TYPICAL
WO	WHERE OCCURS

	EASEMENT
	ASPHALT CONCRETE
	CONCRETE
	STAMPED CONCRETE
	PERVIOUS CONCRETE
	LANDSCAPE
	6" HIGH VINYL FENCE
	5" HIGH WROUGHT IRON FENCE
	UNIT NUMBER

ALL UNITS SHALL BE PROVIDED WITH THE FOLLOWING:
 Decorative doors
 Air conditioner
 Automatic garage door opener

Each door providing ingress and egress to any dwelling unit shall be equipped with the following devices:
 A peephole allowing a person inside the unit to see, at a wide angle, persons outside of the unit at the door, without the person inside being seen.

A deadbolt lock attached to the construction studing. Attachment to the doorjamb or trim shall not be sufficient to comply with the terms of the City ordinance.

Walls shall not exceed 25' in any direction without a minimum of 6" change in wall plane.

NOTE:
 ALL GARAGE DOORS SHALL BE RECESSED INTO THE GARAGE WALL MINIMUM OF 4"

NO NATIVE AND/OR PROTECTED VEGETATION CURRENTLY EXISTS ON THE SITE

TRASH COLLECTION:
 No trash enclosure proposed. Residents shall put their trash bins on their driveways for pick up by Burretec.

Burretec Waste Industries, Inc.
 9890 Cherry Avenue
 Fontana, CA 92335
 (909) 429-4200

MATERIALS AND COLORS

	ALL TYPE "A" BUILDINGS	ALL TYPE "B" BUILDINGS
PAINT	SHERWIN WILLIAMS	SHERWIN WILLIAMS
STUCCO	LA HABRA	LA HABRA
ROOF SHINGLES	OWENS CORNING	OWENS CORNING
GARAGE DOORS	CLOPAY - CLASSIC	CLOPAY - CLASSIC
ENTRY DOORS	MASONITE 6-PANEL	MASONITE 6-PANEL
FENCE	Pro Privacy Fence by VERANDA	Pro Privacy Fence by VERANDA

	COLOR "1"	COLOR "2"
FASCIA/ TRIM	WHITE	WHITE
ENTRY DOORS	SW 6307 FINE WINE	SW 6307 FINE WINE
GARAGE DOORS	WHITE	WHITE
STUCCO	24 SANTA FE	278 TRABUCO
ROOF SHINGLES	GRAY	GRAY
FENCE	WHITE	WHITE

OWNER/ APPLICANT:
 JOHN NEJAD
 420 N. MCKINLEY ST #111-105
 CORONA, CA 92879
 PHONE: 951-288-7357
 FAX: 951-493-7877
 JohnNejad2000@gmail.com

TOPO PREPARED BY:
 MEYER SURVEYING
 36231 ESCENA DR.
 YUCAIPA, CA 92399
 PHONE: 909-557-5829
 FAX: 909-795-9151
 MSI@MeyerSurveying.com

LEGAL DESCRIPTION:
 The north 198 feet of Block 64 of subdivision No. 3 of part of Yucaipa Valley in the County of San Bernardino State of California as per a plat there of recorded in book 19 of maps pages 1 and 2 records of said Except there from the East 330 feet of the South 80 feet. Also except there from the North 93 feet of the South 173 feet of the East 195 feet.

UTILITIES PROVIDERS

ELECTRIC:
 SOUTHERN CALIFORNIA EDISON
 2492 W San Bernardino Ave, Redlands, CA 92374
 909-335-7750

GAS:
 SOUTHERN CALIFORNIA GAS CO.
 1981 W Lugonia Ave, Redlands, CA 92374
 (213) 244-1200

WATER & SEWER:
 YUCAIPA VALLEY WATER DISTRICT
 12770 2nd St, Yucaipa, CA 92399
 (909) 797-5117

TRASH:
 BURRTEC WASTE INDUSTRIES
 9890 Cherry Avenue, Fontana, CA 92335
 (909) 429-4200

PHONE:
 VERIZON
 1980 ORANGE TREE LN., REDLANDS, CA 92373
 (800) 736-7777

CABLE:
 TIME WARNER SPECTRUM
 1078 E Hospitality Ln suite d, San Bernardino, CA 92408
 (866) 874-2389

PLANS PREPARED BY:
 JOHN NEJAD
 420 N. MCKINLEY ST #111-105
 CORONA, CA 92879
 PHONE: 951-288-7357
 FAX: 951-493-7877
 JohnNejad2000@gmail.com

SITE DATA

Gross lot area	85,395 SF	-----
Net lot area	85,320 SF	100%
Proposed buildings footprint	25,766 SF	30.2%
Main Driveway, Guest parking, Turn Around	17,409 SF	20.4%
Driveways to units	5,336 SF	6.3%
Sidewalks	1,789 SF	2.1%
Concrete patios (perVIOUS concrete)	1,360 SF	1.6%
Tot Lot (sand)	1,103 SF	1.3%
Landscapes	32,557 SF	38.2%
Open space (excluding driveways, parking and sidewalks)	35,020 SF	41.0%

PROPOSED BUILDINGS

All units 3 bedrooms, 2.5 bathrooms, 2-car garages	
Type "A": 8 units	
Living areas: 1,068 SF / unit x 8	8,544 SF
Garages: 436 SF / unit x 8	3,488 SF
Type "B": 9 units	
Living areas: 1,090 SF / unit x 9	9,810 SF
Garages: 436 SF / unit x 9	3,924 SF
Total Living Areas and garages	25,766 SF

LOT COVERAGE CALCULATION

Proposed buildings footprints:	25,766 SF
Main Driveway, Guest parking, Turn Around	17,409 SF
Driveways to units	5,336 SF
Sidewalks	1,789 SF
Total impervious areas	50,300 SF
Total Net land area	85,320 SF
Lot coverage: (50,300 ÷ 85,320)	58.95%
Allowed lot coverage	60%

DENSITY CALCULATION

Zoning	RM-72C
Number of residential units allowed per acre	8.6
Total acreage: 85,320 sf ÷ 43,560	1.98
Number of units allowed: 1.98 x 8.6	16.88
Number of units proposed: (per City of Yucaipa code 87.0320 "Fractional units of 50% or greater shall be rounded to the next higher number.")	17

PARKING

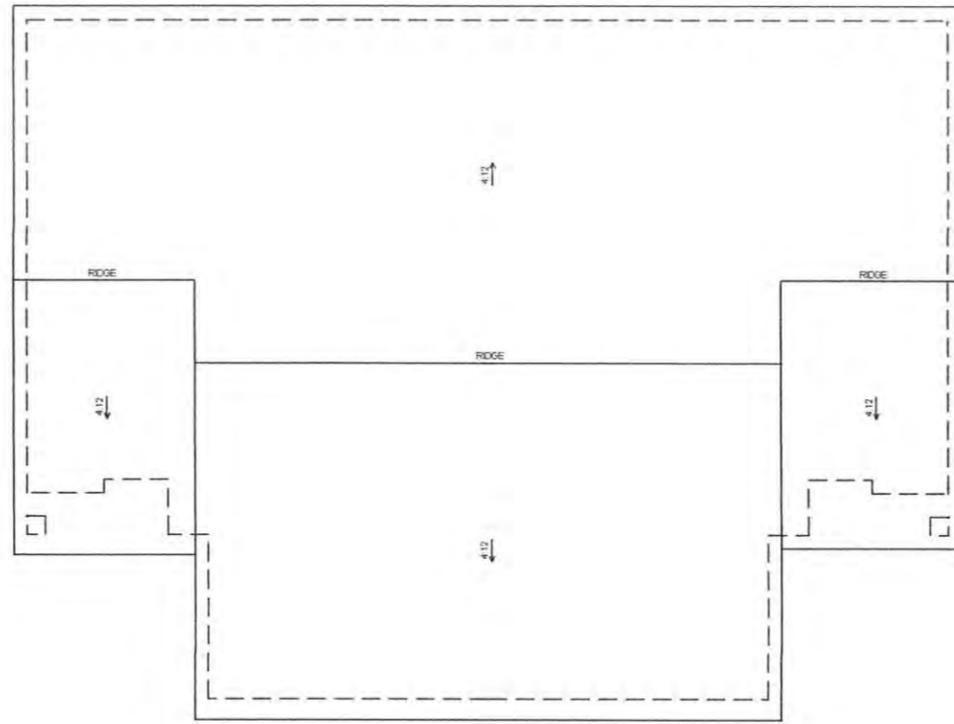
Required covered parking: 17 units x 2 spaces	34
Proposed covered parking: 17 units x 2 spaces (2-car garages)	34
Required Guest parking: 17 units x 0.5 spaces	8.5
Proposed Guest parking:	9

SITE & PRELIMINARY GRADING PLAN

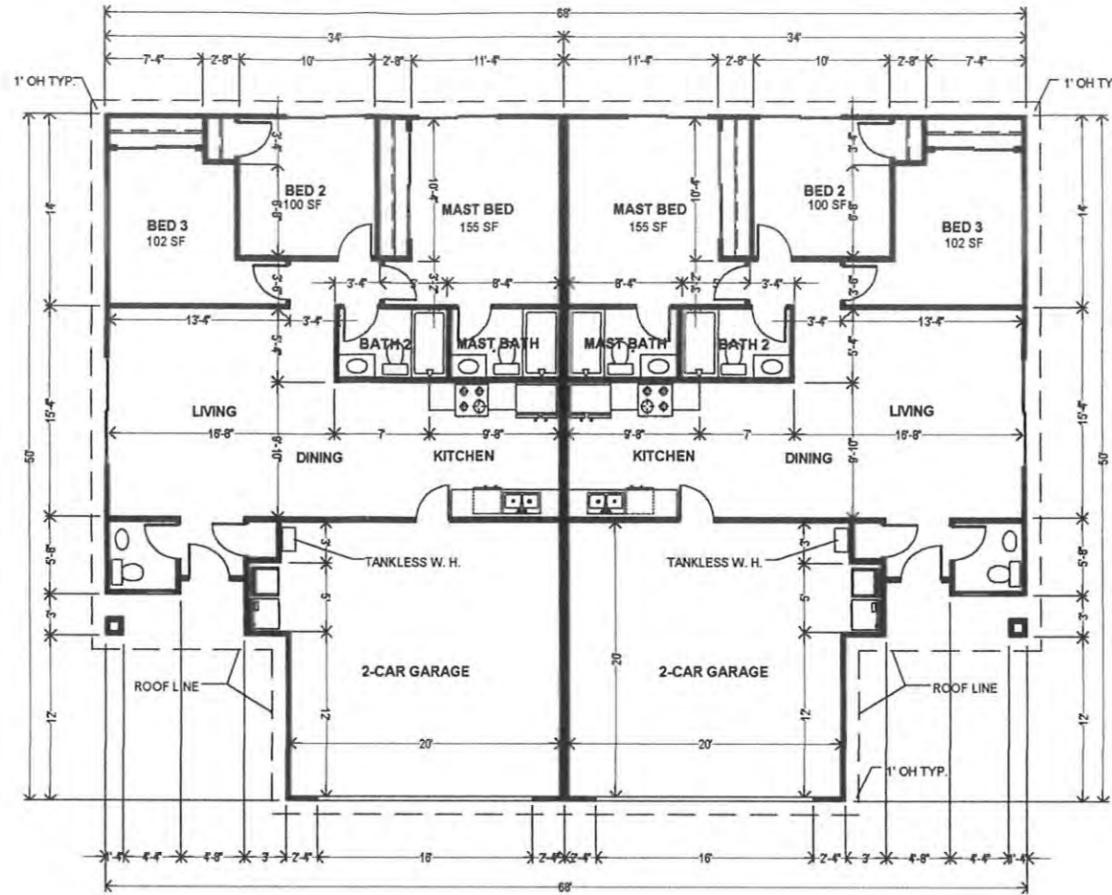
17 MULTI FAMILY UNITS
 12790 6TH STREET, YUCAIPA, CA
 A. P. N. 0318-164-21-0000

PLAN NO. _____
 DATE: _____

SHEET **1**
 OF _____ SHEETS

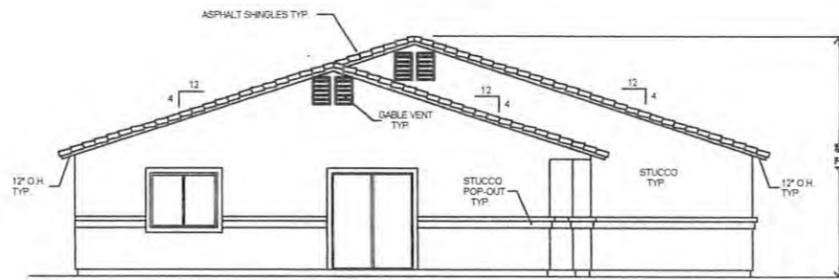


ROOF PLAN
1" = 6'-0"

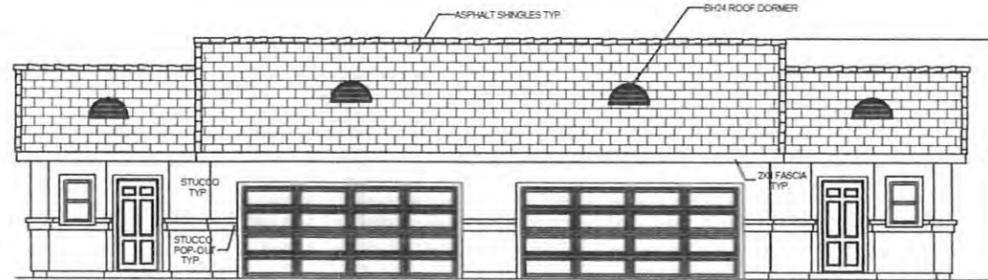


FLOOR PLAN
1" = 6'-0"

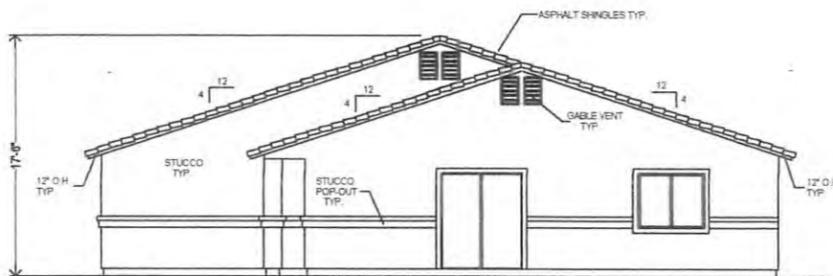
NOTES:
GARAGE DOOR SHALL BE RECESSED INTO THE GARAGE WALL MINIMUM OF 4"
ALL MECHANICAL EQUIPMENT AND ELECTRICAL ELEMENTS SHALL BE SCREENED FROM PUBLIC VIEW



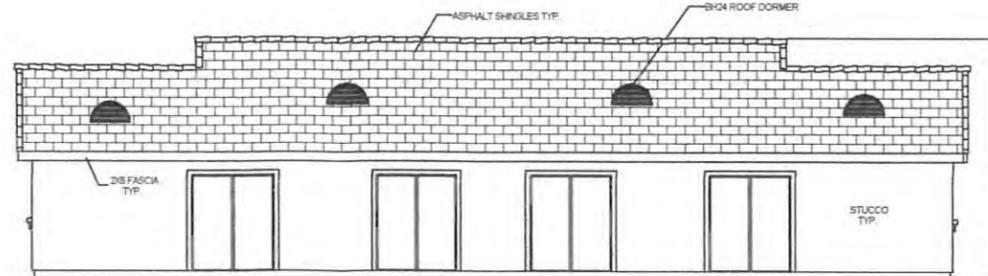
LEFT ELEVATION
1" = 6'-0"



FRONT ELEVATION
1" = 6'-0"



RIGHT ELEVATION
1" = 6'-0"



REAR ELEVATION
1" = 6'-0"

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Automatic garage door opener

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A deadbolt lock attached to the construction studing. Attachment to the doorjamb or trim shall not be sufficient to comply with the terms of the City ordinance.

TYPE "A"

LIVING AREA 1,068 SF EACH UNIT
GARAGE 436 SF EACH UNIT

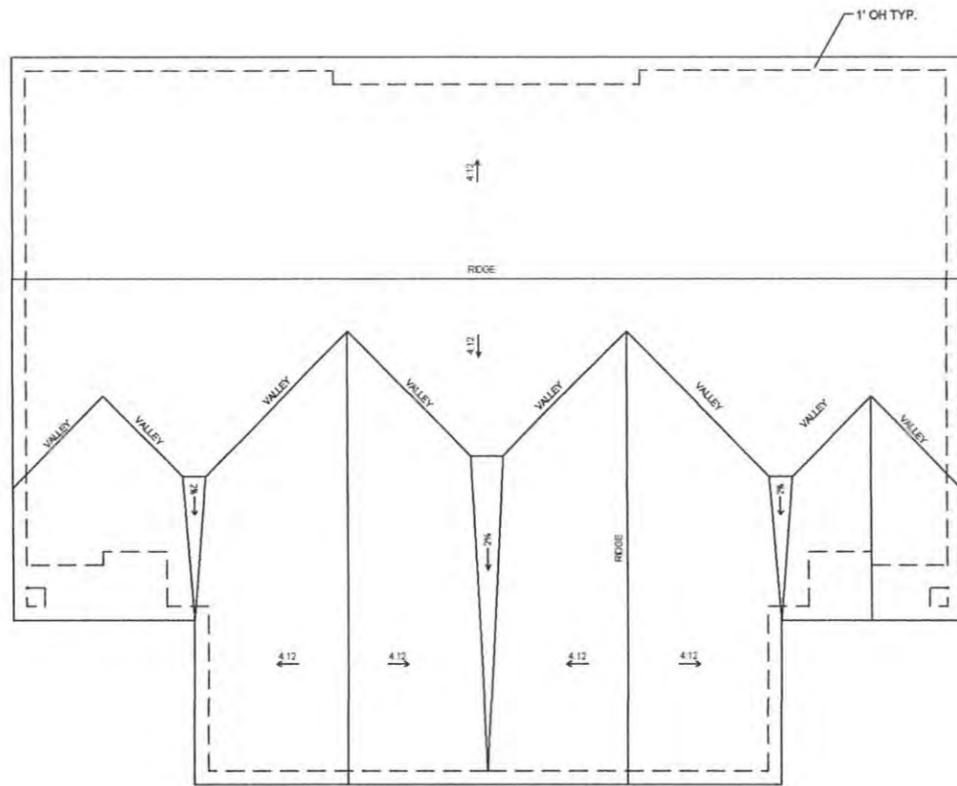
REVISIONS	BY

PREPARED BY: JOHN NEJAD
420 N. MCKINLEY ST #111-105
CORONA, CA 92879
PHONE: 951-288-7357
FAX: 951-493-7877
EMAIL: JohnNejad2000@gmail.com

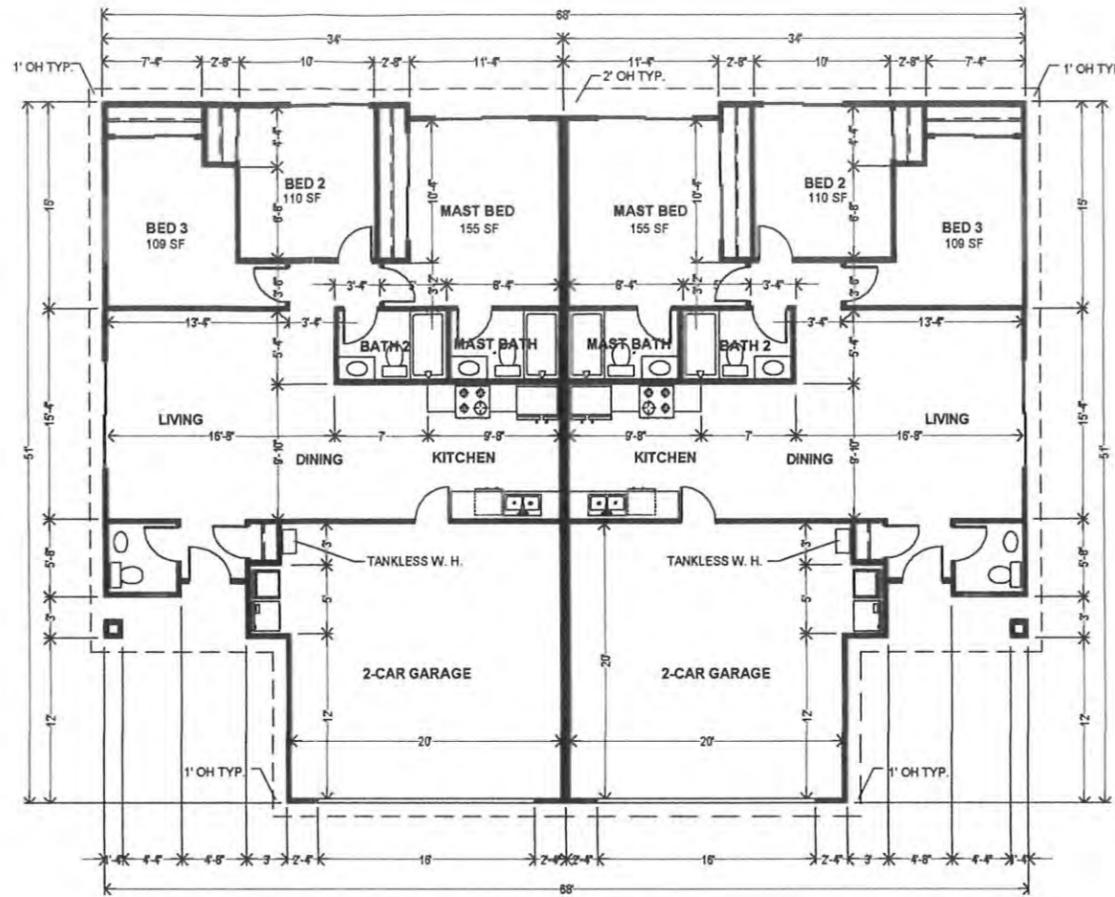
OWNER: JOHN NEJAD
420 N. MCKINLEY ST #111-105
CORONA, CA 92879
PHONE: 951-288-7357
FAX: 951-493-7877
EMAIL: JohnNejad2000@gmail.com

PROJECT: 17 MULTI FAMILY UNITS
ADDRESS: 12790 6TH STREET,
YUCAIPA, CA
A. P. N.: 318-164-21

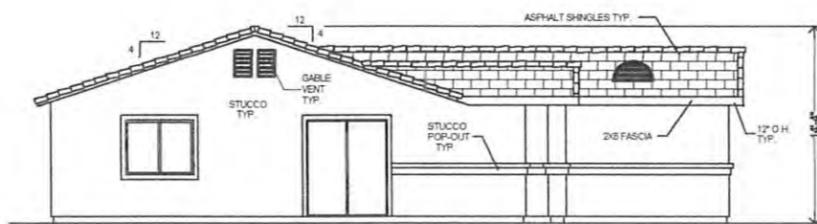
DRAWN
CHECKED
DATE
SCALE
1" = 6'-0"
JOB NO.
SHEET
3
SHEETS



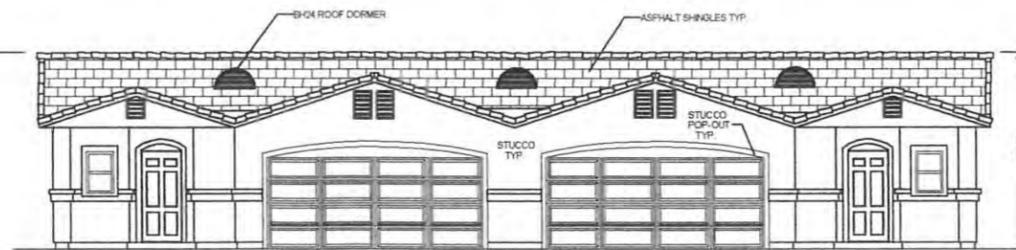
ROOF PLAN
1" = 6'-0"



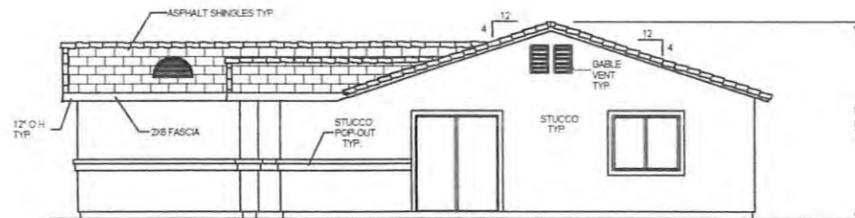
FLOOR PLAN
1" = 6'-0"



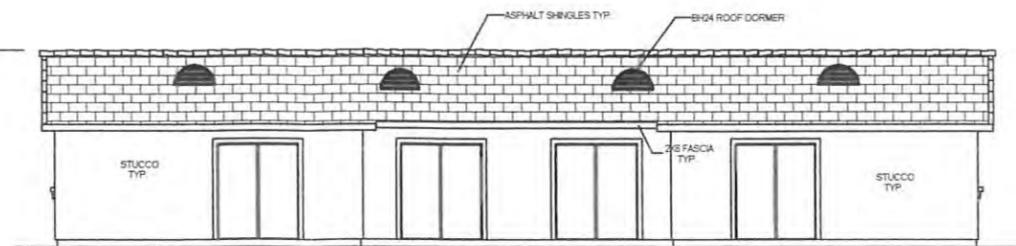
LEFT ELEVATION
1" = 6'-0"



FRONT ELEVATION
1" = 6'-0"



RIGHT ELEVATION
1" = 6'-0"



REAR ELEVATION
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- Air conditioner
- Automatic garage door opener

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TYPE "B"

LIVING AREA 1,090 SF EACH UNIT
GARAGE 436 SF EACH UNIT

REVISIONS	BY

PREPARED BY: JOHN NEJAD
420 N. MCKINLEY ST #111-105
CORONA, CA 92879
PHONE: 951-288-7357
FAX: 951-493-7877
EMAIL: JohnNejad2000@gmail.com

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ADDRESS: 420 N. MCKINLEY ST #111-105
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PHONE: 951-288-7357
FAX: 951-493-7877
EMAIL: JohnNejad2000@gmail.com

PROJECT: 17 MULTI FAMILY UNITS
ADDRESS: 12790 6TH STREET,
YUCAIPA, CA
A. P. N. : 318-164-21

DRAWN
CHECKED
DATE
SCALE 1" = 6'-0"
JOB NO.
SHEET 4
SHEETS

17 Unit Multi-Family Project, 6th Street, Yucaipa, California



CONCEPTUAL LANDSCAPE PLAN



DROUGHT TOLERANT TREES



● ● ● SHRUBS



GROUND COVERS



CITY OF YUCAIPA CASE NO.: 20-026 CUP
A. P. N.: 318-164-21

PREPARED BY:
JOHN NEJAD
420 N. MCKINLEY ST #111-105
CORONA, CA 92879
PHONE: 951-288-7357
FAX: 951-493-7877
JohnNejad2000@gmail.com

**CITY OF YUCAIPA
DEVELOPMENT SERVICES DEPARTMENT
AGENDA REPORT**

TO: Honorable Chairman and Planning Commissioners

FROM: Jessica Anaya, Planning Intern *JA*

FOR: Planning Commission Meeting of July 1, 2020

SUBJECT: Jerry Savage (Case No. 20-048/SUP/ARC): A Special Use Permit and Architectural Review of a proposed 12 ft. tall, 840 sq. ft. detached metal garage to be located on a single-family residential property at 12530 Oak Ct.; APN: 0301-093-74.

RECOMMENDATION: That the Planning Commission conduct a public hearing, and:

- A) Review the architectural design of the proposed metal garage, and if it is acceptable, approve the design subject to the Conditions of Approval; and
- B) Adopt the Special Use Permit Findings as contained in the Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15303 (Class 3); and,
- D) Direct staff to file a Notice of Exemption.

BACKGROUND:

Area Land Use Designations; Improvement Levels; and Existing Land Uses:

Site:	RS-20M (Single Residential, 20,000 sq. ft. minimum)	IL-1	Single-family residence
North:	RS-20M	IL-1	Single-family residence
South:	RS-20M	IL-1	Single-family residence
East:	RS-20M	IL-1	Single-family residence
West:	RS-20M	IL-1	Single-family residence

DISCUSSION:

Special Use Permit for Architectural Review:

The applicant has submitted a Special Use Permit Application for the Architectural Review of the accessory use consisting of a 12 feet tall, 840 square-foot detached metal garage. Pursuant to Development Code Section 84.0645(a), any detached structure larger than 1,200 square feet, more than 20 feet in height, or of an unconventional design, such as a metal garage, would first be

required to obtain a Special Use Permit for approval of the architectural design from the Planning Commission.

The detached metal structure is to be constructed on the subject 1.18-acre property located at 12530 Oak Court in the RS-20M (Single-Residential, 20,000 sq. ft. minimum) Land Use District. The property is improved with an 1,801 square foot single-family residence.

The proposed metal structure will be 24 feet wide and 35 feet long, and will be approximately 12 feet tall. The metal garage will feature one (1) roll-up door on the south side, one (1) walk in door on the east side, and one (1) window on the north side. The siding for the garage will feature horizontal panels, and the roof will have vertical panels. To match the colors of the existing residence, the applicant is proposing “Sahara Tan” for the roof and siding, “Cocoa Brown” for the trim, and “White” for the doors.

The location of the proposed structure meets all setback requirements in the RS-20M Land Use District. The structure is to be located on the northwestern portion of the property, approximately 102 feet from the front/eastern property line on Oak Court, 72 feet from the rear/western property line, 63 feet from the side/northern property line, and 134 feet from side/southern property line. The attached exhibits to the agenda report include a site plan, building elevations, a color palette, and photo examples of a similar-style structure from the building manufacturer.

Processing and Procedural Actions:

Notices of the Project were sent to all surrounding contiguous property owners and no comments were received.

Staff is recommending that the Project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the CEQA Guidelines (Class 3 – Small Structures), as the Project consists of a metal garage to be used as an accessory structure.

CONCLUSION:

The Project meets the standards for access and site design. The required findings for approval of the Special Use Permit for Architectural Review have been made and are attached, as well as the Conditions of Approval.

Attachments: Findings for Special Use Permit
Land Use & Location Map
Conditions of Approval
Site Photos
Site Plan and Building Elevations

Approved by:

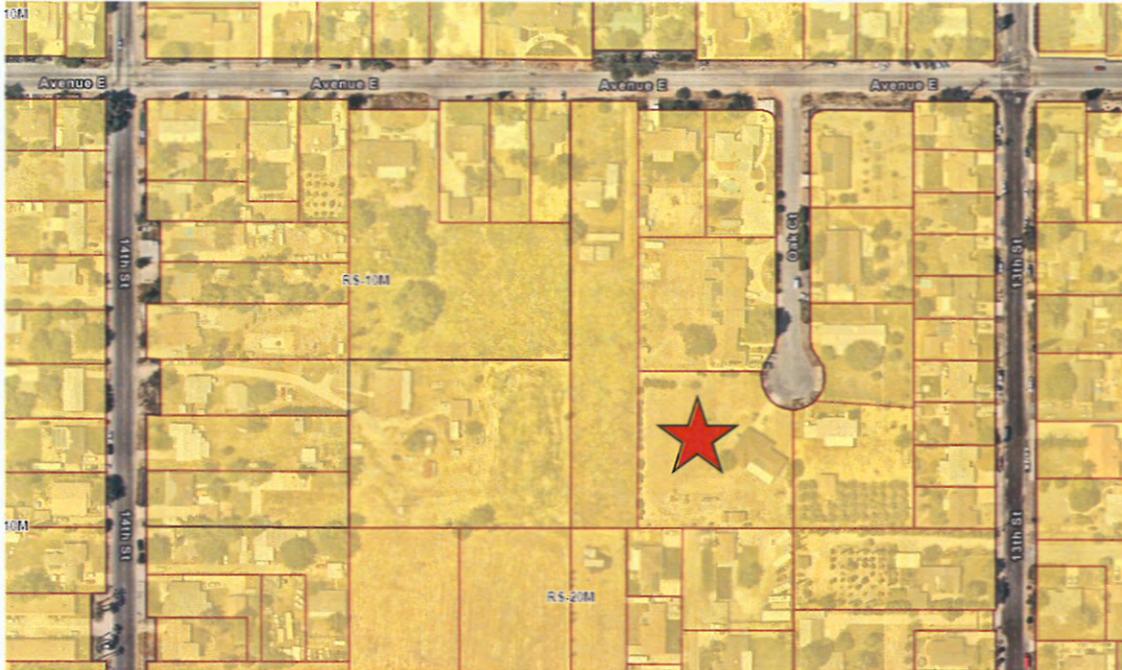


Benjamin Matlock, Planning Manager/City Planner
Development Services Department

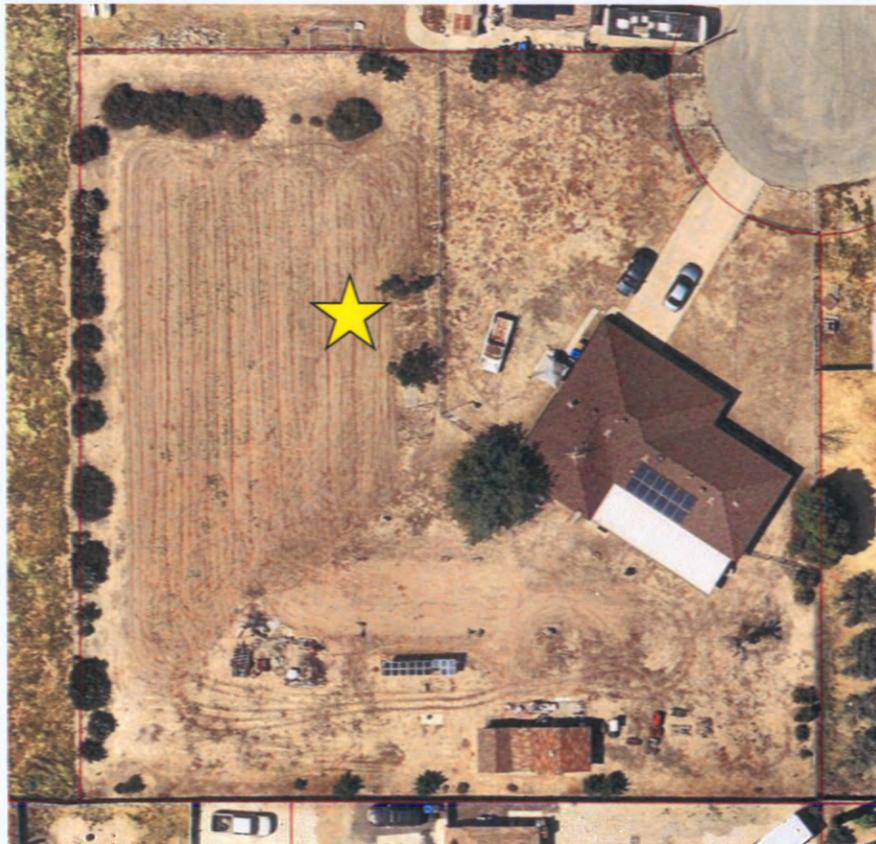
FINDINGS: SPECIAL USE PERMIT NO. 20-048/SUP/ARC

1. The site for the proposed use is adequate in size and shape to accommodate said use and all yards, building coverage, parking area, and other requirements of the Code, because the subject property is 47,916 square-feet in size and is adequate in area to accommodate the proposed metal garage.
2. The proposed garage will be subordinate in size, location, and appearance to the use because the building is to be located northwest of the residence at the north western portion of the property. The residence is 1,801 square feet and the proposed accessory structure is 840 square feet, which is smaller than the residence.
3. Issuance of the permit shall not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and district in which the use is located, because the lawful conditions and building code requirements required for this structure to be built will ensure adequate circulation, drainage, and fire protection.
4. The appearance of the detached accessory structure and the method of construction are compatible with the surrounding built environment, because the building is compatible in size and height with surrounding houses and accessory structures, will be required to obtain a building permit, ensuring that it is built consistent with conceptual plans, and all colors of the proposed building will be painted to match the colors of the residence.

LAND USE: SINGLE RESIDENTIAL – RS-20M



SITE LOCATION



CONDITIONS OF APPROVAL

ON-GOING CONDITIONS/GENERAL REQUIREMENTS:

PLANNING DIVISION (909) 797-2489 EXT. 224

1. This Special Use Permit is for the Architectural Review of a 12-foot tall, 840 square-foot detached metal garage to be located on a single-family residential property at 12530 Oak Ct.; APN: 0301-093-74. Any alteration or expansion of these facilities, or increase in the developed area of the site from that shown on the approved site plan, may require the submission of a new application or an additional application for Revisions for review and approval.
2. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claim, action or proceeding attacking or seeking to set aside, void or annul the approval of all or part of the matters applied for, or any other claim, action or proceeding relating to or arising out of such approval. This obligation includes the obligation to reimburse the City, its agents, officers and employees for any court costs or attorney fees which the City, its agents, officers, or employees are required by a court to pay as a result of such claim, action or proceeding. The City agrees to notify the applicant of any such claim, action or proceeding promptly after the City becomes aware of it. The City may participate in the defense of the claim, action or proceeding, but such participation will not relieve the applicant of applicant's defense and indemnification obligations, including City expenses.
3. This Special Use Permit shall become null and void if all conditions have not been complied with and the occupancy or use of the land has not taken place within three (3) years of the date of approval. One extension of time, not to exceed three (3) years, may be granted upon written request and submittal of the appropriate fee not less than 30 days prior to the date of expiration. **PLEASE NOTE:** this will be the only notice given for the above specified expiration date. **The applicant is responsible for the initiation of an extension request.**
4. A Categorical Exemption is being issued for this project, pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended. The applicant/owner shall deliver a \$50.00 administrative handling fee to the Planning Division within five (5) days after the effective date of conditional approval. **Payments shall be made with a Check, Money Order or Cashier's Check for \$50.00 made payable to the "Clerk of the Board".** The Planning Division shall then file the Notice of Exemption with the Clerk. Proof of fee payment will be required prior to issuance of building permit.
5. All conditions of this Special Use Permit are continuing conditions. Failure of the applicant and/or operator to comply with any or all of said conditions at any time may result in the revocation of the permit granted to use the property.

6. Commercial uses within the Single Residential Land Use District are strictly prohibited. The detached metal garage shall not be used for commercial purposes.

ENGINEERING DIVISION (909) 797-2489 EXT. 228

7. Applicant shall demonstrate that the site does not create concentrated discharges to adjacent properties and/or public right-of-way in excess of historical flows. If project does create concentrated or sheet flows off-site that are greater than historical, the applicant shall demonstrate that the downstream facilities can accommodate flows; otherwise, applicant shall provide on-site detention for excess flows in accordance with the approved WQMP.
8. Continuous water spraying or other approved methods must be used during grading operations to control fugitive dust.

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

9. This project is protected by the Yucaipa Fire Department/California Department of Forestry and Fire Protection. Prior to any construction occurring on any parcel, the applicant shall contact the Fire Marshall for verification of current fire protection development requirements. All new construction shall comply with the adopted Uniform Fire Code and all applicable statutes, codes, ordinances, standards and policies of the Yucaipa Fire Department/CDF.
10. Fire Department access roads and/or public/private streets and residential driveways shall have a minimum vertical clearance of thirteen (13) feet and six (6) inches.
11. Fire Department access roadways and/or public/private streets and driveways shall not exceed 12% grade (please note: Engineering Division requirements may be more restrictive).
12. Approved fire hydrants capable of supplying required fire flow shall be provided to all premises upon which facilities, buildings or portions of buildings are constructed or moved within the jurisdiction. When any portion of the facility or building protected is in excess of 400 feet from a fire hydrant on a public street, as measured by an approved route around the exterior of the facility or building, additional fire hydrants meeting the required fire flow shall be provided.

THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A GRADING PERMIT:

ENGINEERING DIVISION (909) 797-2489 EXT. 228

13. The applicant's plans indicate approximately 6.11% of the site to be improved with impervious surfaces. Design features shall be included to direct storm water run-off flows into landscaped pervious areas before any run-off flows into public rights-of-way.

14. In addition to the drainage, traffic related, or other requirements stated herein, other “on-site” or “off-site” improvements may be required which cannot be determined from tentative plans at this time and would have to be reviewed after more complete improvement plans and profiles have been submitted to the City Engineer.

THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A BUILDING PERMIT:

PLANNING DIVISION (909) 797-2489 EXT. 224

15. Proof of fee payment of Fish and Game fees and/or County Administrative handling fees pursuant to California State Assembly Bill 3158 shall be submitted.
16. Provide detailed building elevations including materials, finishes, colors, and signage for all buildings for Planning Division review and approval prior to issuance of building permits. Building elevations shall be consistent with those approved by the Planning Commission.

BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 225

17. The site shall be developed in compliance with all current model codes. All plans shall be designed in compliance with the latest editions of the California Building Codes as adopted by the City of Yucaipa.
18. The structure shall comply with all structural and nonstructural provisions of the California Building Code.
19. Pursuant to California Business and Professions Code Section 6737, this project is required to be designed by a California licensed architect or engineer.
20. Separate submittals and permits are required for all accessory structures such as, but not limited to, patios, block walls, and storage buildings.

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

21. A fuel break of one hundred (100) feet (brush and weed clearance) is required prior to construction. The clearance shall be maintained on a year-round basis.

SUBJECT PROPERTY SHALL NOT BE OCCUPIED AND/OR USED FOR PURPOSES APPLIED FOR UNTIL THE FOLLOWING CONDITIONS HAVE BEEN MET:

PLANNING DIVISION (909) 797-2489 EXT. 224

22. Any lights used to illuminate the site shall be hooded and designed so as to reflect away from adjoining properties and public thoroughfares.
23. The proposed structure shall be painted to match the colors of the approved color palette and shall be materially consistent with the approved Building Elevations.

CDF FIRE DEPARTMENT (909) 797-2489 EXT. 246

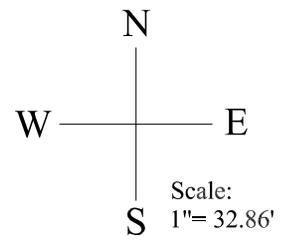
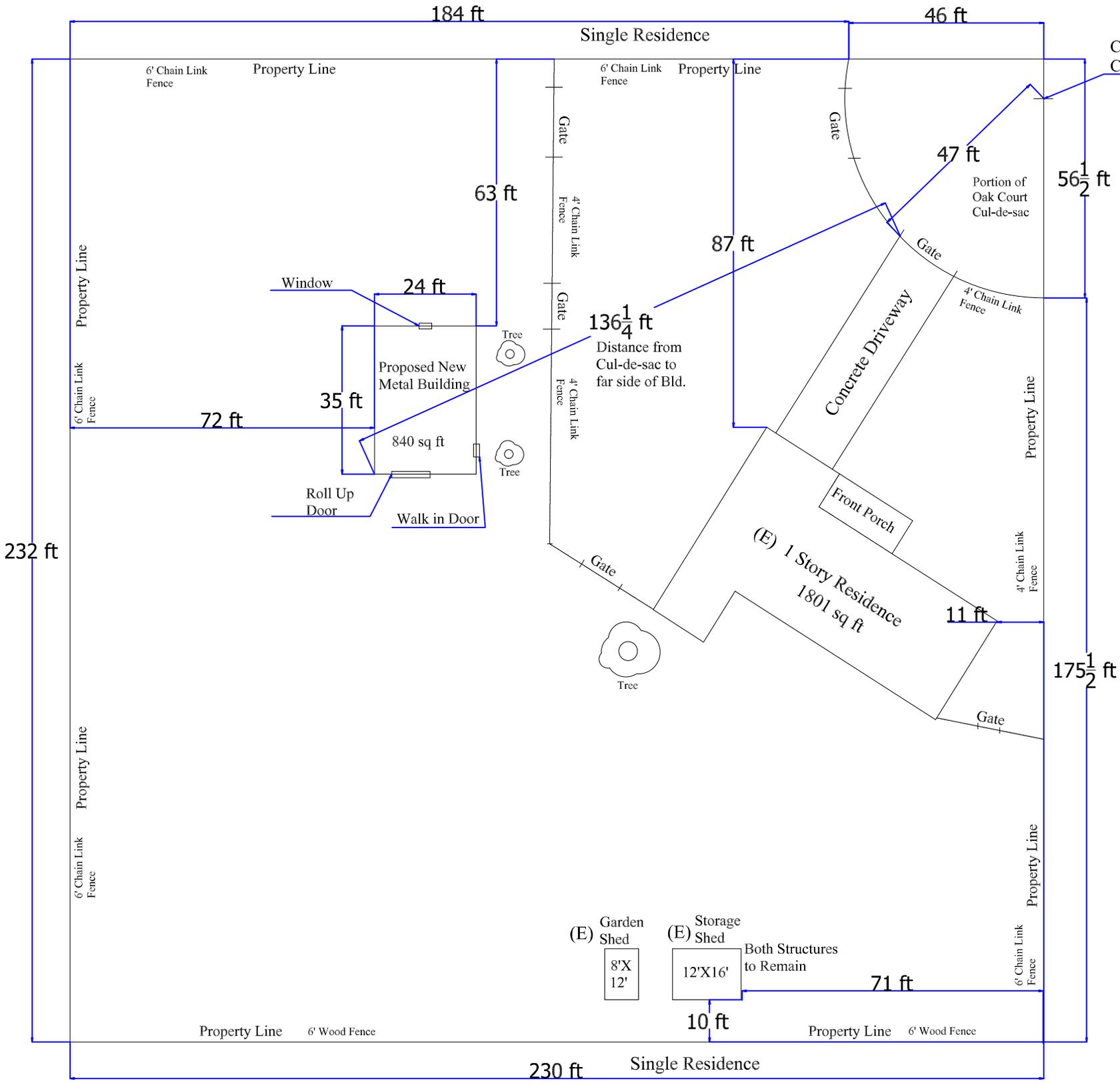
24. Manual operated gates across Fire Department access roadways, public and/or private streets and driveways, shall be equipped with approved emergency key-operated (“Knox” type) locks. For automatic gates, a “Knox” keyed emergency access switch shall be installed at location determined by Fire Department, and shall over-ride all command functions and open gate automatically upon activation. All automatic gates shall have a manual over-ride for use during loss of electric power. “Knox box” request forms are available from the Fire Department.
25. Address numbers shall be placed on all new and existing residential structures in such a manner as to be plainly visible and legible from the access roadway or street. Single family dwellings shall have numbers of 4” height, 3/8” stroke on contrasting background. Address numbers shall be low voltage, automatically electrically illuminated. Where structure setback exceeds one hundred (100) feet from the access roadway or street, additional non-illuminated numbers 4” in height, 3/8” stroke, on contrasting background shall be displayed at property access entrance.
26. Smoke detectors, hard wired with battery back-up, shall be installed in all sleeping areas and in all hallways leading to sleeping areas. Smoke detectors shall be installed at the top of all stairways.
27. Carbon Monoxide detectors shall be installed pursuant to manufacture specifications.
28. The main electrical panel and sub-panels shall be labeled on inside cover for all circuits.

ENGINEERING DIVISION (909) 797-2489 EXT. 228

29. Any further development of this parcel may result in required construction of full road improvements.

SITE PHOTOS:





Site Plan

Jerry & Charlotte Savage
 12530 Oak Court
 Yucaipa, CA
 Tel. 909-570-9357
 Parcel # 0301-093-74-0-000

Lot Coverage Calc.
 Parcel Area: 47,916 sq ft
 (E) Footprint: 2089 sq ft
 New Building: 840 sq ft
 Total Footprint
 New & Existing: 2929 sq ft
 Lot Coverage: 6.11%

Fire Hydrant:
 470' from far
 side of Bld.
 136' 3" From
 Paved Road

12530 Oak Court
Yucaipa

Materials (Also See Brochure)

2" X 3" Galvanized Rectangular
Tube 14 gauge

Panels ----- 29 gauge 3' diameter

Walk in Door ----- 1 36" X 80"

1 Window 36" X 36"

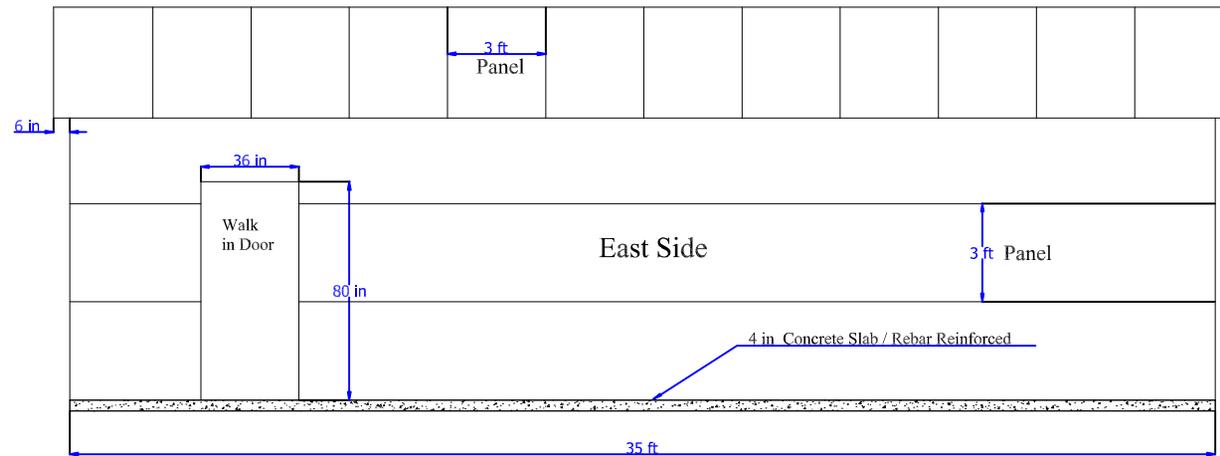
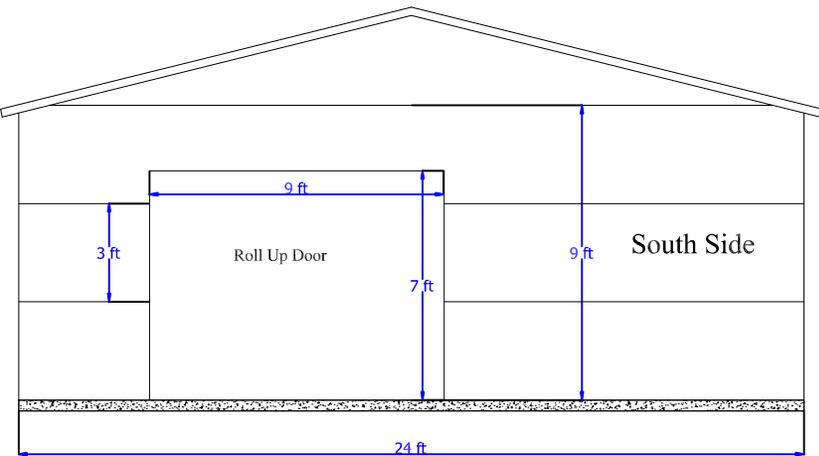
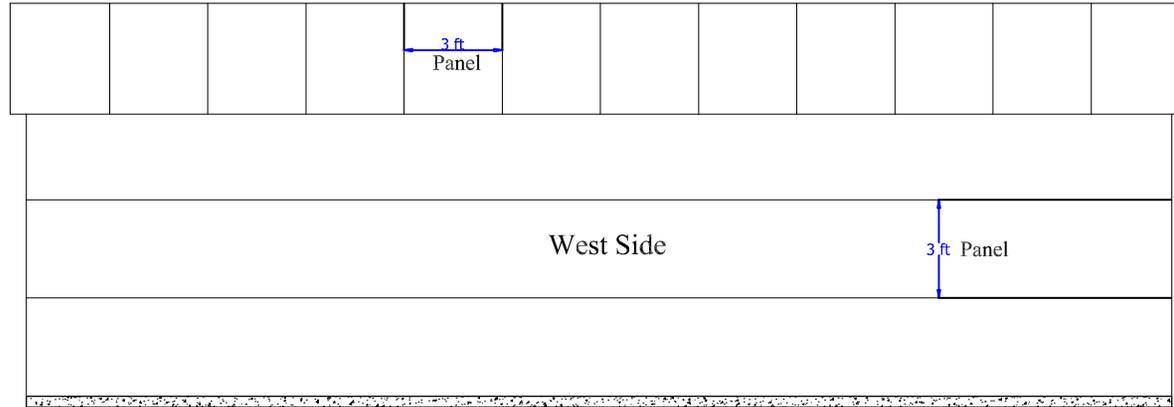
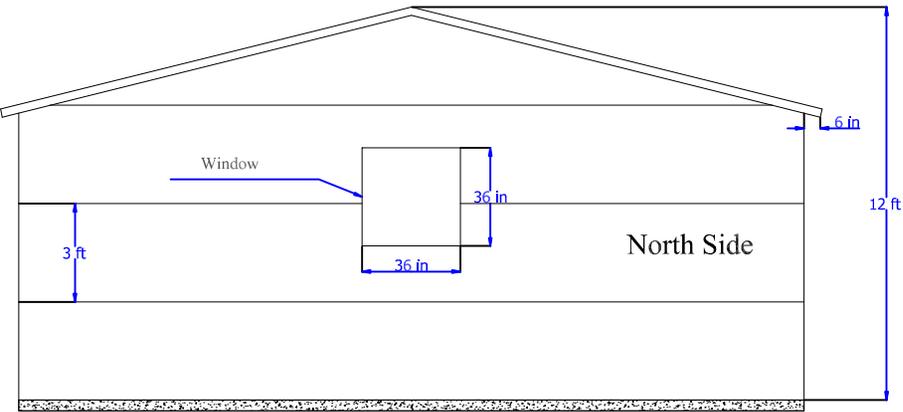
7" Anchors -----Interior Mounts and Concrete Bolts

16 Gauge Corner Brace

Colors -----Roof / Sahara Tan --- Sides / Sahara Tan
Trim / Cocoa Brown

18 Gauge Hat Channel

Roll Up Door ----- 1 9' wide X 7' high

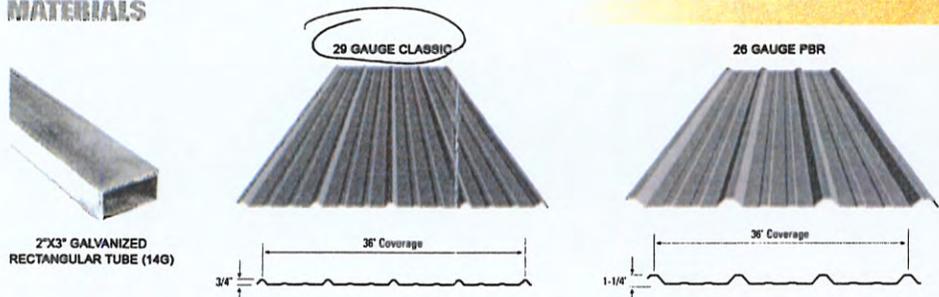


COLOR CHART

*COLORS MAY VARY



MATERIALS

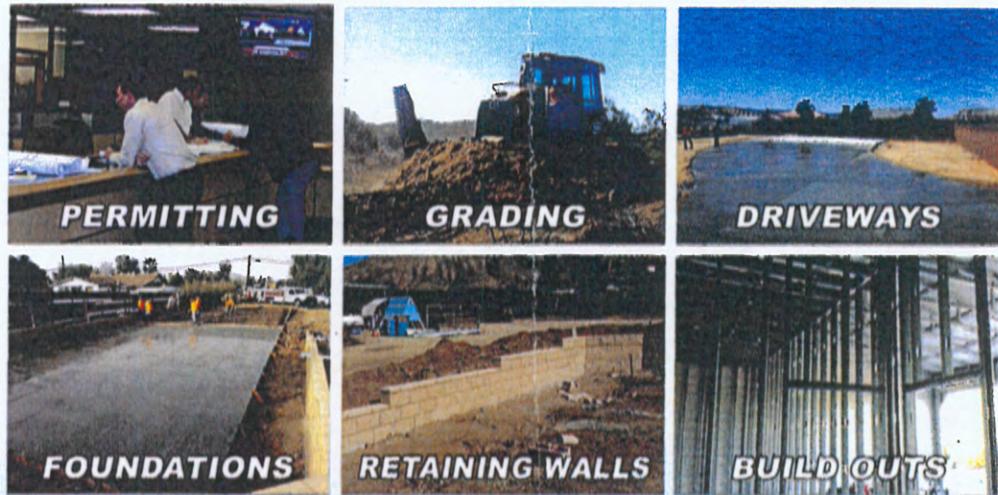


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